SHOPS at MAIN STREET exterior building improvements





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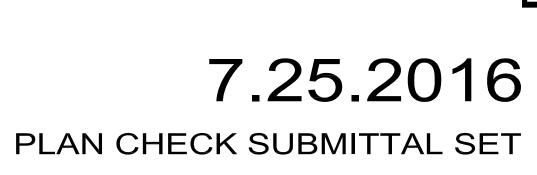
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TEL: 949-387-8500, FAX: 949-387-0800

581 N. MAIN STREET, CORONA, CA 92880

BUILDING 'A'





LDI 1395 BUII #B160

GENERAL NOTES

22. EXTERIOR FACADE PLASTER SPALL REPAIRS

. GENERAL:

- F. ALL WASTE MATERIALS, e.g. SPALLED PLASTER AND REPAIR DEBRIS, AS WELL AS REMOVED FOLIAGE, ARE TO BE REMOVED FROM THE SITE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- G. AS DETERMINED NECESSARY BY CONTRACTOR TO MEET PERFORMANCE REQUIREMENTS OF NEW WORK ON EXISTING SUBSTRATE. CONTRACTOR TO PERFORM PETROGRAPHIC EXAMINATION AND CHEMICAL ANALYSIS (ASTM C 1324) ON A SAMPLE OF THE EXISTING PLASTER TO DETERMINE ITS MIX COMPONENTS. MIX COMPONENTS SHALL BE VERIFIED TO MEET TYPE NECESSARY TO OBTAIN BONDING REQUIREMENTS AND PREVENT STAINING OF WORK.
- EXECUTION OF WORK: A. CONTRACTOR TO REPAIR ALL SPALLING AND DAMAGE OF EXTERIOR PLASTER FACADE. B. CONTRACTOR TO PERFORMWORK AS INDICATED IN PROJECT DOCUMENTATION INCLUDING
- SPECIFICATIONS AND DRAWINGS C. REPAIR WORK SHALL BE IDENTIFIED BY CRACK REPAIR TYPE AND SIZE AS INDICATED IN
- SPECIFICATION 092400 "CEMENT PLASTERING". D. PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR TO PREPARE SUBMITTAL DOCUMENTS TO ARCHITECT FOR REVIEW AND COMMENT. SUBMITTAL TO INCLUDE: 1. SURVEY OF EXTERIOR WALL INDICATING THE LOCATIONS OF EXISTING PLASTER SPALLING, CRACKS, AND DAMAGE OBSERVED AT THE SURFACE. SURVEY TO BE PREPARED IN NARRATIVE AND DRAWING FORMAT INCLUDING EXTERIOR ELEVATION DRAWINGS AND PLANS DESCRIBING THE EXISTING CONDITIONS. 2. REPAIR DOCUMENT SUBMITTAL OF EXTERIOR WALL INDICATING THE LOCATIONS AND TYPE OF REPAIR. SUBMITTAL TO INCLUDING ELEVATION, DRAWINGS, PLANS, DETAIL DRAWINGS AND PRODUCT REPAIR MATERIALS INDICATING WORK TO BE PREFORMED.
- TOOLS AND EQUIPMENT: A. ALL PLASTER REMOVAL SHALL BE DONE WITH SMALL, HAND-HELD PNEUMATIC CHIPPING TOOLS. TOOLS WHICH TYPICALLY REQUIRE THE USE OF BOTH HANDS TO HOLD THE WEIGHT OF THE EQUIPMENT SHALL NOT BE USED. CARE SHALL BE TAKEN TO PREVENT ANY OIL. LUBRICANTS OR OTHER MATERIALS DETRIMENTAL TO BONDING OF PATCHING MATERIALS TO PLASTER FROM CONTACTING THE SURFACE OF THE AREA BEING CHIPPED. IT MAY BE NECESSARY FOR THE USER TO HOLD A CLEAN RAG AROUND THE TOOL CHUCK AND FRONT END OF THE EQUIPMENT TO PREVENT ANY SPRAY OR SPLATTER OF OIL, ETC. FROM CONTACTING THE CHIPPED SURFACE.
- B. THE TERM "WIRE BRUSH" IS USED IN THE DRAWINGS AND DETAILS TO DENOTE THE METHOD FOR CLEANING RUST AND CORROSION FROM REINFORCING STEEL OR OTHER EMBEDDED OR SURFACE-MOUNTED STEEL ITEMS. IN ALL CASES, THE TERM "WIRE BRUSH" MEANS THE USE OF A HAND-HELD ELECTRIC DRILL TYPE TOOL WITH A ROTARY WIRE BRUSH UNIT MOUNTED IN THE CHUCK. THE ROTARY WIRE BRUSH UNIT SHALL HAVE SHORT, STIFF WIRE BRISTLES IN ORDER TO ASSURE THAT FULL MANUAL PRESSURE CAN BE APPLIED FOR EFFECTIVE REMOVAL OF RUST AND CORROSION. CARE SHALL BE TAKEN TO WORK THE WIRE BRUSH ALL AROUND THE METAL, AND BEHIND EMBEDDED REINFORCING STEEL TO THE EXTENT POSSIBLE WHERE PLASTER MATERIAL BEHIND THE REINFORCING HAS BEEN REMOVED.
- C. LOW-PRESSURE WATER CLEANING OF EXISTING PLASTER SURFACES: EXCEPT AS MODIFIED OR SUPPLEMENTED IN THESE NOTES, THE PRIMARY REQUIREMENTS FOR THIS WORK ARE SPECIFIED IN ASTM C 926. NOTE THAT THE CONTRACTOR SHALL NOT USE EQUIPMENT WITH SPRAY PRESSURE CAPABILITIES IN EXCESS OF 3,600 PSI. THE SPRAY NOZZLE SHALL BE HELD NO CLOSER THAN 6" FROM THE SURFACE BEING SPRAYED. THE SPRAY NOZZLE SHALL EMIT A SPRAY WITH A DISPERSION ANGLE OF NO LESS THAN 20 DEGREES, AND NO GREATER THAN 40 DEGREES. NOTWITHSTANDING THE AFOREMENTIONED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ASSURING THAT THE MASONRY SURFACES BEING SPRAYED ARE ADEQUATELY CLEANED TO MEET ALL MANUFACTURER'S REQUIREMENTS FOR THE APPLICATION OF PATCHING MATERIALS AND SEALANTS, AND THAT THE APPLICATION OF THE WATER SPRAY SHALL NOT REMOVE EXISTING MASONRY MATERIALS AND THEREBY CHANGE THE TEXTURE AND APPEARANCE OF THE SURFACE.
- BULK PLASTER REMOVAL AND SURFACE PREPARATION: A. LOOSE, DELAMINATED PLASTER SHALL BE REMOVED FROM THE AREAS INDICATED UNTIL THE SUBSTRATE CONSISTS OF SOUND PLASTER.
- B. BULK PLASTER REMOVAL SHALL INCLUDE UNDERCUTTING OF CORRODED REINFORCING STEEL LATH BY APPROXIMATELY 3/4 IN.
- C. THE FINAL SURFACE TEXTURE SHALL MATCH THE (E) PLASTER AS CLOSELY AS POSSIBLE.
- D. MAINTAIN SQUARE OR RECTANGULAR SHAPE OF THE PREPARED CAVITY WHERE POSSIBLE, BUT IN ALL INSTANCES KEEP THE SHAPE OF THE CAVITY AS SIMPLE AS POSSIBLE. E. THE EDGES OF THE CAVITY SHALL BE CUT PERPENDICULAR OR SLIGHTLY UNDERCUT TO AVOID
- FEATHER EDGING OF THE REPAIR MATERIAL. FINAL SURFACE CLEANING:
- A. USE PRESSURE WASHING TO REMOVE RESIDUAL DUST, DEBRIS, FRACTURED PLASTER, AND CONTAMINANTS THAT PREVENT PROPER BONDING. DO NOT ALLOW WASH PARTICULATE SLURRY TO HARDEN ON PREPARED SURFACES
- B. ALL HEAVY CORROSION AND SCALE SHALL BE REMOVED FROM EXPOSED CORRODED REINFORCING STEEL TO PROMOTE MAXIMUM BONDING OF REPAIR MATERIAL, TIGHTLY BONDED LIGHT RUST BUILD-UP ON THE SURFACE IS USUALLY NOT DETRIMENTAL TO BOND UNLESS A PROTECTIVE COATING WILL BE APPLIED TO THE LATH SURFACE.
- C. IF REINFORCING STEEL HAS LOST SIGNIFICANT CROSS SECTION, NOTIFY ENGINEER. D. ANY REINFORCING STEEL THAT IS LOOSE SHALL BE SECURED IN PLACE BY TYING TO OTHER
- SECURED BARS OR BY OTHER APPROVED METHODS. PLACEMENT OF REPAIR MATERIAL: A. REPAIR MATERIAL SHALL BE PREPARED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS
- B. PRESOAK THE SUBSTRATE TO ACHIEVE A SATURATED SURFACE DRY (SSD) CONDITION PRIOR TO PLACEMENT OF REPAIR MATERIAL TO PREVENT A RAPID LOSS OF MOISTURE FROM THE REPAIR MATERIAL. AN SSD CONDITION IS ACHIEVED WHEN THE SUBSTRATE IS SATURATED BUT FREE OF SURFACE WATER AND PUDDLES.
- C. SCRUB A THIN BOND COAT OF THE REPAIR MATERIAL INTO THE SSD SUBSTRATE FILLING ALL PORES AND VOIDS.
- D. PLACE REPAIR MATERIAL USING ADEQUATE PRESSURE BEFORE THE BOND COAT DRIES. THOROUGHLY CONSOLIDATE THE REPAIR MATERIAL INTO THE CORNERS OF THE REPAIR AND AROUND ANY EXPOSED REINFORCING.
- E. IF MULTIPLE LIFTS ARE REQUIRED, THOROUGHLY ROUGHEN THE SURFACE OF THE PROCEEDING LIFT TO ACHIEVE AN AGGRESSIVE FINISH AND CURE THE LIFT ACCORDING TO MANUFACTURERS RECOMMENDATIONS PRIOR TO PLACING ADDITIONAL LIFTS.
- F. FINISH THE REPAIR MATERIAL TO PRODUCE A FINAL FINISHED APPEARANCE MATCHING THE ADJACENT MATERIALS.
- G. PROPERLY CURE THE REPAIR MATERIAL ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- 23. SUSTAINABILITY NOTES
- CBC PART 11 GREEN BUILDING CODE (CGC) 1. APPLICABLE FOR NONRESIDENTIAL ALTERATIONS: EXTENT OF APPLICABLE PROVISIONS OF PART 11 IS SPECIFIC TO ONLY AREAS TO BE ALTERED. "THE PROVISIONS OF INDIVIDUAL SECTIONS OF CHAPTER 5 APPLY ... TO BUILDING ALTERATIONS WITH PERMIT VALUATION OF \$200,000 OR ABOVE. CODE SECTIONS RELEVANT TO ADDITIONS AND ALTERATIONS SHALL ONLY APPLY TO THE PORTIONS OF THE BUILDING BEING ADDED OR ALTERED WITHIN THE SCOPE OF THE PERMIT WORK." (CGC 301.3)
- 2. APPLICABLE BICYCLE PARKING: EXISTING FACILITY CURRENTLY DOES CONTAIN MOTORIZED PARKING AND WILL PROVIDE MOTORIZED PARKING IN ALTERATIONS. PROVISIONS FOR BICYCLE PARKING ARE APPLICABLE AS MOTORIZED PARKING IS PRESENT AND CAN BE USED TO CALCULATE THE REQUIREMENT. ADDITIONALLY, "IF THE NEW PROJECT ALTERATION IS ANTICIPATED TO GENERATE VISITOR TRAFFIC." * EXCEPTION, ALTERATIONS WHICH ADD NINE OR LESS VISITOR VEHICULAR PARKING" (CGC 5.106.4.1.1) SCOPE IS INDICATED IN REF DOC:
- 3. NOT APPLICABLE LOW-EMITTING VEHICLE PARKING STALLS: ADDITIONAL PARKING WILL BE ADDED TO THE EXISTING FACILITY. PROVISIONS FOR DESIGNATED LOW-EMITTING VEHICLE PARKING ARE NOT APPLICABLE. "IN PROJECT ALTERATIONS THAT ADD TEN OR MORE VEHICLE PARKING SPACES PROVIDE DESIGNATED PARKING ... (CGC 5.106.5.2) SCOPE IS INDICATED IN REF DOC:
- 4. APPLICABLE ENERGY EFFICIENCY STANDARDS: PROVISIONS FOR MANDATORY ENERGY EFFICIENCY STANDARDS WILL FOLLOW CALIFORNIA ENERGY CODE. (CGC 5.201.1)
- 5. NOT APPLICABLE INDOOR WATER USE: EXISTING FACILITY WILL NOT BE PROVIDING ADDITIONAL SPACE LESS THAN A 50,000 SQ, FT, AND SUB-METERING IS NOT REQUIRED. (CGC 5.303.1.1) PROVISIONS FOR INDOOR WATER EFFICIENCY IS NOT APPLICABLE AND WATER FIXTURES TO MEET THE MAXIMUM FLOW RATE VALUES. THE BUILDING IS EXISTING AND DOES NOT NEED TO MEET THE WASTE WATER REDUCTION (CGC 5.303.4).
- 6. APPLICABLE CONSTRUCTION WASTE REDUCTION: "WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE." (CGC 5.408.1)
- 7. NOT APPLICABLE BUILDING MAINTENANCE AND OPERATIONS: EXISTING FACILITY WILL HAVE NO ADDITIONAL INCREASE TO TOTAL SQUARE FOOTAGE, AND NO ONSITE RECYCLING AREA IS REQUIRED. (CGC 5.410.1.1)
- 8. APPLICABLE BUILDING MAINTENANCE AND OPERATIONS: EXISTING FACILITY IS NOT BEING SUBSTANTIALLY REMODELED OR EXPANDED BUILDING AND IS NOT REQUIRING THE PROVIDE FOR PROPER WASTE AND RECYCLABLE STORAGE OF 10 SQUARE FEET OF WASTE STORAGE AREA FOR EACH 1,000 SQUARE FEET OR PORTION THEREOF OF NET FLOOR AREA OF THE FACILITY FOR THE FIRST 20,000 SQUARE FEET AND 3 SQUARE FEET FOR EACH ADDITIONAL 1,000 SQUARE FEET OVER THAT, BUT NOT LESS THAN 4-1/2 FEET IN WIDTH NOR LESS THAN 6 FEET IN LENGTH. (LACBC TITLE 14)
- 9. APPLICABLE ENVIRONMENTAL QUALITY: ALTERATION WILL MEET ENVIRONMENTAL INDOOR QUALITY REQUIREMENTS, INCLUDING POLLUTANT CONTROL, FINISH MATERIAL VOC POLLUTANT CONTROL, ETS CONTROL. (CGC 5.501.1) NO DEMAND CONTROL VENTILATION IS PROVIDED AND NO CO2 MONITORING PROVIDED. PROJECT ACOUSTICAL CONTROL COMPLIANCE REQUIREMENTS TO BE DETERMINED APPLICABLE BY BUILDING DEPARTMENT

- **11. RATED ASSEMBLY PENETRATIONS** MECHANICAL DUCTS, ETC. PENETRATING FIRE-RATED CEILINGS AND FIRE WALLS SHALL BE CORRESPONDINGLY RATED OR DAMPERED, CABINETS, ELECTRICAL PANELS, LIGHTS, ETC. RECESSED INTO FIRE RATED WALLS OR CEILINGS SHALL BE BACKED WITH CORRESPONDING FIRE-RESISTIVE CONSTRUCTION AS REQUIRED TO MAINTAIN THE
- INTEGRITY OF THE FIRE PROTECTION. FIRE RESISTIVE ASSEMBLIES FOR PROTECTION OF OPENINGS SHALL COMPLY WITH CBC В. CHAPTER 7
- PENETRATION OF FIRE RATED ASSEMBLIES WHICH REQUIRE OPENING PROTECTION SHALL BE FIRE STOPPED. FIRE STOPPING SHALL BE IDENTICAL TO AN APPROVED UNDERWRITERS LABORATORIES (UL) LISTED ASSEMBLY WITH AN "F" OF "T" RATING. PENETRATIONS MUST ALSO CONSIST OF APPROVED MATERIALS FOR THROUGH WALL PENETRATIONS FIRE STOP SYSTMEMS AS PRESCRIBED IN CBC STANDARD 7-5 FIRE RATING FOR FIRE STOP SYSTEMS SHALL BE EQUAL TO THE ASSEMBLY PENETRATED. (709.6, CBC)
- D. SHAFT ENCLOSURES: OPENINGS EXTENDING VERTICALLY THROUGH FLOORS SHALL BE ENCLOSED IN A SHAFT OF 1-HOUR FIRE-RESISTIVE CONSTRUCTION. SHAFTS SHALL INCLUDE A GYPSUM BOARD HORIZONTAL TERMINATION AT BOTTOM, ENGINEERED BY GENERAL CONTRACTOR. PROTECTION FOR STAIRWAYS SHALL BE AS SPECIFIED IN CODE OF JURISDICTION.
- 12. DISSIMILAR METALS
- A. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED. **13. ELECTRICAL BACKBOARDS**
- REFER TO ELECTRICAL, TELEPHONE/DATA AND SECURITY ELECTRONICS DRAWINGS FOR LOCATION OF AND SPECIFICATIONS FOR THE INSTALLATION OF FIRE RETARDANT TREATED PLYWOOD BACKBOARDS REQUIRED IN ELECTRICAL AND COMMUNICATION ROOMS. THESE REQUIRED PLYWOOD BACKBOARDS HAVE NOT BEEN SHOWN ON THE ARCHITECTURAL DRAWINGS, BUT MUST BE FURNISHED AND INSTALLED AS A PART OF THE OVERALL CONTRACT. BACKBOARDS SHALL BE PAINTED WHITE.
- 14. SIGNAGE
- FURNISH AND INSTALL SUPPORTS AND OTHER NECESSARY FINISH MATERIALS FOR A COMPLETE SIGNAGE INSTALLATION. HANDICAPPED SIGNAGE / IDENTIFICATION В.
- 1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USEABLE BY PHYSICALLY HANDICAPPED PERSONS.
- 2. LETTERS AND NUMBERS ON SIGNS HAVE A WIDTH TO HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND STROKE WIDTH TO HEIGHT RATIO OF BETWEEN 1:5 AND 1:10.
- LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- 4. ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY HANDICAPPED PERSONS SHALL BE IDENTIFIED WITH AT LEAST ONE STANDARD SIGN AND WITH ADDITIONAL DIRECTIONAL SIGNS AS REQUIRED TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.
- 5. ALL SANITARY FACILITIES WILL BE PROVIDED WITH APPROPRIATE IDENTIFICATION SYMBOLS.
- AREA AND OCCUPANCY SIGNAGE REQUIREMENTS OCCUPANT LOAD SIGN SHALL BE POSTED IN EACH MEETING ROOM, ASSEMBLY ROOM OR SIMILAR PURPOSE ROOM HAVING AN OCCUPANT LOAD OF 50 OR MORE.
- **15. COORDINATION OF DEVICES** A. EXACT LOCATIONS AND HEIGHTS OF ELECTRICAL, LOW VOLTAGE, MECHANICAL AND PLUMBING DEVICES, INCLUDING BUT NOT LIMITED TO SMOKE DETECTORS, PULL STATIONS, SWITCHES, OUTLETS, PHONE JACKS, AND THERMOSTATS, SHALL BE COORDINATED BY THE CONTRACTOR PER THE APPLICABLE CODE FOR ALIGNMENT AND COORDINATION WITH EACH OTHER AND OTHER BUILDING FEATURES PRIOR TO INSTALLATION.
- 16. GUARDS
- A. PROVIDE LIGHT FIXTURE GUARDS OR UNBREAKABLE LENSES IN STORAGE ROOMS, MACHINE AND MECHANICAL EQUIPMENT ROOMS, WORKSHOPS, ETC.
- 17. RE-KEYING A. THE CONTRACTOR SHALL REPLACE CYLINDERS AND/OR REKEY LOCKS AT NO COST TO THE OWNER FOR ALL DOORS OF EACH LOCK TYPE WHERE A KEY HAS BEEN LOST DURING CONSTRUCTION AND UNTIL FINAL ACCEPTANCE IS NECESSARY IN THE OPINION OF THE OWNER TO MAINTAIN THE SECURITY OF THE FACILITY.
- **18. SKYLIGHT CONSTRUCTION**
- A. NOT USED
- **19. SPRINKLER NOTES**
- A. NOT USED
- 20. SECURITY NOTES
- A. AT ALL EXTERIOR DOORS, PROVIDE MINIMUM 16 GA. STEEL REINFORCEMENT WITHIN THE FRAME FOR THE WIDTH OF FRAME AND EXTENDING 6" ABOVE AND BELOW THE STRIKE PLATE AT ALL EXTERIOR DOORS.
- B. SECURE THE 16 GA. MINIMUM STRIKE PLATE WITH 2" MINIMUM SCREWS.
- C. ALL EXTERIOR HOLLOW METAL DOORS SHALL BE 16 GA. MIN.
- ALL MECHANICAL, ELECTRICAL, OR OTHER EQUIPMENT OVER ROOF OPENINGS EXCEEDING 96 SQUARE INCHES SHALL BE SECURED WITH NON-REMOVEABLE VANDAL RESISTANT SCREWS OR BOLTS TO PREVENT ENTRY OR SHALL HAVE 1/8" X 2" WELDED
- WIRE MESH WITH CONTINOUS FRAME ACROSS OPENING BELOW. EXTERIOR HATCHWAYS IN ROOFS OR WALLS SHALLHAVE NRP (NON-REMOVEABLE EXTERIOR PINS) AT HINGE AND LOCK.
- H. ALL EXTERIOR GROUND FLOOR DOORS MUST HAVE LIGHTING OF A MINIMUM OF 1.0 FOOTCANDLE AT GROUND PLANE. THESE MUST BE ON SEPARATE CIRCUITS TO REMAIN ON DURING ALL CONDITIONS WHEN NATURAL EXTERIOR LIGHT LEVEL DROPS BELOW 1.0 FOOT CANDLE
- ANYTIME A BUILDING OR PORTION OF A BUILDING IS OCCUPIED, THE MEANS OF EGRESS SERVING THE OCCUPIED PORTION SHALL BE ILLUMINATED AT AN INTENSITY OF NOT LESS THAN 1 FOOT-CANDLE (10.76 LX) AT THE FLOOR LEVEL.
- THERMAL ENVELOPE NOTES
- THERMAL INSULATION PERFORMANCE TO MEET LOCAL MINIMUM ENERGY CODES. INSULATION ASSEMBLY, AS TESTED IN ACCORDANCE WITH ASTMC 518, TO PROVIDE A CONTINUOUS THERMAL PERFORMANCE RATING AT EXTERIOR PERIMETER OF NEW WORK. PROVIDE ASSEMBLY THICKNESS TO MEET THERMAL RESISTANCE 'R' VALUE AS INDICATED BUT NO LESS THAN THE CODE. MINIMUM THERMAL RESISTANCE VALUES AS FOLLOWING: 1. R-30 AT CEILING AND ATTIC SPACES 2. R-19 AT EXTERIOR WALLS
- 4. R-13 AT FLOOR CRAWL SPACES
- 22. EXTERIOR FACADE PLASTER SPALL REPAIRS
- GENERAL A. IN THESE NOTES, "PLASTER" REFERS TO "CEMENT PLASTER", SEE SPECIFICATION "CEMENT PLASTERING".
- B. IN ALL CASES. THE EXACT RECOMMENDATIONS OF THE PRODUCT MANUFACTURER FOR PREPARATORY WORK AND ACTUAL PLACEMENT OF REPAIR MATERIALS SHALL BE STRICTLY ADHERED TO. IN THE EVENT OF A CONFLICT BETWEEN A MANUFACTURER'S RECOMMENDATION AND THESE DRAWINGS, THE CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- C. ALL PLASTER REPAIRS SHALL MATCH THE HEIGHT AND TEXTURE OF ADJACENT SURFACES. OVER POURS AND OTHER IRREGULARITIES SHALL BE GROUND DOWN TO AN ACCEPTABLE SURFACE.
- D. THESE GENERAL NOTES HIGHLIGHT CONTRACTOR REQUIREMENTS IN MANY IMPORTANT AREAS OF THE WORK. THEY ARE NOT STAND-ALONE REQUIREMENTS. THESE NOTES MUST BE COORDINATED WITH THE CONTRACT DRAWINGS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THESE GENERAL NOTES WITH THE CONTRACT DRAWINGS SO AS TO ASSURE THAT ALL PROJECT REQUIREMENTS ARE FULFILLED.
- E. THROUGHOUT THESE DRAWINGS, A PARTICULAR PRODUCT FOR REPAIR OF SPALLS, OR FOR COATING SURFACES, OR FOR OTHER USES, MAY BE SPECIFIED, IN EACH CASE, THE CONTRACTOR SHALL USE THE SPECIFIED PRODUCT, OR REQUEST THE USE OF AN ALTERNATIVE PRODUCT BY SUBMITTING FULL AND DETAILED EVIDENCE THAT THE ALTERNATIVE PRODUCT IS EQUIVALENT IN EVERY WAY. IT IS SOLELY INCUMBENT UPON THE CONTRACTOR TO DEMONSTRATE PRODUCT EQUIVALENCY WHERE ALTERNATIVE PRODUCTS ARE REQUESTED. NO SCHEDULE DELAYS OR COST CHANGES WILL BE ACCEPTED IN CONJUNCTION WITH CONTRACTOR REQUESTS FOR THE USE OF ALTERNATIVE PRODUCTS. ALL CHANGES TO BE SUBMITTED TO THE ENGINEER-OF-RECORD FOR REVIEW.

3. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER

3. R-11 AT INTERIOR WALLS WHERE INSULATION IS USED FOR SOUND CONTROL

1. GENERAL

- ALL WORK SHALL CONFORM TO CONTRACT DOCUMENTS. NO CHANGES THEREFROM SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. WHERE MORE INFORMATION OR WHEN AN INTERPRETATION OF THE CONTRACT DOCUMENTS IS NEEDED, THE CONTRACTOR BEFORE PROCEEDING WITH WORK, SHALL REFER THE MATTER TO THE ARCHITECT WHO WILL FURNISH INFORMATION OR INTERPRETATION IN THE FORM OF SUPPLEMENTAL INFORMATION OR OTHER WRITTEN FORM OR DRAWING.
- WHERE ONLY PART OF THE WORK IS INDICATED, SIMILAR PARTS SHALL BE CONSIDERED REPETITIONS. WHERE ANY DETAIL IS SHOWN AND THE COMPONENTS ARE DESCRIBED ELSEWHERE, SIMILAR DETAILS SHALL BE CONSTRUCTED AS DESCRIBED IN THE ORIGINAL DETAILS
- C. DRAWINGS ARE GENERIC IN NATURE. CONTRACTOR SHALL FULLY COORDINATE ALL ASPECTS OF THE WORK TO BE PERFORMED. DETAILS ARE NOT INTENDED TO SHOW METHOD AND MANNER OF ACCOMPLISHING THE WORK.
- ALL DIMENSIONS ORIGINATING AT, CONNECTED TO, OR CONTINUING THROUGH EXISTING CONDITIONS, INCLUDING PREVIOUS PHASES, MUST BE COORDINATED AND FIELD VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION INSTALLATION, AND CONSTRUCTION OF BUILDING ELEMENTS OR SYSTEMS.
- VERIFY ALL DIMENSIONS, ELEVATIONS, AND ALL EXISTING CONDITIONS AT THE SITE BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT AND OWNER
- SHOULD A CONFLICT BE DISCOVERED WITHIN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE DEEMED TO HAVE INCLUDED IN HIS WORK THE HIGHEST QUALITY WAY OF DOING THE WORK UNLESS HE SHALL HAVE ASKED FOR AND OBTAINED A DECISION IN WRITING FROM THE ARCHITECT AND OWNER.
- 2. CODES
- ALL CONSTRUCTION IS TO COMPLY WITH THE APPLICABLE CODES AS ADAPTED BY THE REGIONAL, STATE, AND NATIONAL AUTHORITIES HAVING JURISDICTION.
- B. FOR LIST OF CODES APPLICABLE TO THIS PROJECT, SEE 'CODES' SHEET GI.01.
- 3. PERMITS
- PROCURE ALL NOTICES, PERMITS, AND LICENSES REQUIRED FOR THE COMPLETION OF THE WORK. THE COST OF THESE NOTICES, PERMITS, AND LICENSES IS INCIDENTAL TO OTHER ITEMS OF WORK AND NO ADDITIONAL PAYMENT WILL BE MADE FOR COSTS INCURRED IN OBTAINING NOTICES, PERMITS, AND LICENSES OR IN CONFORMING TO THE REQUIREMENTS THEREOF.
- COORDINATION & VERIFICATION
- THE DRAWINGS ARE DIVIDED INTO SEPARATE SHEETS AND THE PROJECT MANUAL INTO SEPARATE SECTIONS FOR GENERAL CONVENIENCE ONLY. SHEET DESIGNATION OR NUMBERS SHALL NOT BE CONSIDERED TO LIMIT AREAS OF THE WORK OR RESPONSIBILITY OF TRADES. COORDINATE THE WORK SHOWN ON THE DRAWINGS AND IN THE PROJECT MANUAL IN ORDER TO COMPLETE THE PROJECT AS DESIGNED.
- VERIFY ALL SIZES OF AND PREPARE WORK FOR EQUIPMENT OF OTHERS AND COORDINATE WORK ON THIS CONTRACT WITH ITEMS OF WORK NOT IN CONTRACT (N.I.C.) OR WORK FURNISHED BY OTHERS.
- LOCATIONS AND SIZES OF EQUIPMENT ARE BASED ON AVAILABLE INFORMATION. PROVIDE AND COORDINATE THE EXACT DIMENSIONS, SIZES, AND POSITIONS.
- PROVIDE AND COORDINATE THE EXACT DIMENSIONS. SIZES AND POSITIONS OF OPENINGS IN SLABS AND WALLS NECESSARY FOR THE INSTALLATION OF THE WORK.
- PROVIDE REINFORCING STEEL, MESH, AND DOWELS REQUIRED BY THE STRUCTURAL GENERAL NOTES AND DRAWINGS FOR ARCHITECTURAL DETAILS INDICATED ON THE ARCHITECTURAL DRAWINGS.
- F. QUANTITIES INDICATED ON THE DRAWINGS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY QUANTITIES AND INCLUDE ACCURATE QUANTITIES AS PART OF THE WORK.
- NOTES AND DETAILS: SPECIFIC NOTES OR KEYNOTES ON DETAILS APPLY TO SIMILAR CONDITIONS ON OTHER DETAILS ON ALL DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE

5. UTILITIES AND DEMOLITION

THE DRAWINGS SHOW DIAGRAMMATICALLY THE APPROXIMATE LOCATION OF UNDERGROUND UTILITIES WHERE INFORMATION IS AVAILABLE, BUT THE DRAWINGS ARE NOT EXACT AS TO THE QUANTITY, EXTENT OR LOCATION. PREPARE SURFACES OF FLOOR AREAS WHICH HAVE FINISHES DEMOLISHED TO RECIEVE NEW FINISH MATERIAL AS SPECIFIED.

6. DIMENSIONS

- OVERALL DIMENSIONS ARE TO FACE OF FINISH, AND NOMINAL FACE OF MASONRY UNLESS NOTED OTHERWISE
- ELEVATIONS AND VERTICAL DIMENSIONS ARE TO TOP OF FINISH FLOOR MATERIAL. THICKNESS OF ALL FLOOR FINISH MATERIAL MUST BE FULLY COORDINATED.
- C. GRID LINE TO CENTER OF COLUMN.
- D. DIMENSION TO CENTER OF COLUMN & GRID LINE.
- E. EXTERIOR DIMENSIONS ARE FROM FACE TO FACE OF CONCRETE STEM WALLS.
- F. INTERIOR DIMENSIONS ARE FROM FINISH TO FINISH.
- G. DO NOT SCALE DRAWINGS.

FIRE PROTECTION

- THE CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY CODE, AND AUTHORITY HAVING JURISDICTION, AT ALL PORTIONS OF THE BUILDING ON EACH FLOOR. THESE EXTINGUISHERS SHALL BE INSTALLED IN THE LOCATIONS APPROVED BY THE FIRE DEPARTMENT AND THE ARCHITECT.
- WHERE TESTING LABORATORY DESIGN NUMBERS ARE LISTED FOR FIRE RATED CONSTRUCTION, THE COMPONENTS AND INSTALLATION DETAILS MUST CONFORM WITH THE DESIGN NUMBER SPECIFIED.

8. EXITS

- EXIT DOORS SHALL BE OF THE PIVOTED OR SIDE-HINGEDSWINGING TYPE. EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN THE AREA SERVED HAS AN OCCUPANT LOAD OF 50 OR MORE.
- EVERY EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. NOTE ALSO THAT FLUSH BOLTS OR SURFACE BOLTS ARE PROHIBITED.
- PANIC HARDWARE SHALL BE PROVIDED ON EXIT DOORS OF ROOMS, CORRIDORS, STAIRWAYS, HANDLING AN OCCUPANT CAPACITY OF 50 OR MORE PERSONS.
- EXIT SIGNS SHALL BE INSTALLED AT REQUIRED EXIT DOORWAYS AND WHERE OTHERWISE NECESSARY TO CLEARLY INDICATE THE DIRECTION OF EGRESS IN COMPLIANCE WITH
- THE CODE OF JURISDICTION. STAIRWAYS SHALL NOT BE LESS THAN 44 INCHES WIDE WITH RISERS NOT TO EXCEED 7
- INCHES AND TREADS NOT LESS THAN 11 INCHES. EGRESS DOORS SHALL BE SET IN MOTION WHEN SUBJECTED TO A 30LB. FORCE. THE DOOR SHALL SWING TO THE FULLY OPEN POSITION WHEN AN OPENING FORCE NOT
- EXCEEDING 15 LBS IS APPLIED TO THE LATCH SIDE. EACH DOOR IN A MEANS OF EGRESS FROM A GROUP 'A' OCCUPANCY SHALL NOT BE
- PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANIC HARDWARE OR FIRE EXIT HARDWARE (CBC 1008.1.9).
- H. DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" A.F.F.
- EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAT 90min. IN CASE OF PRIMARY POWER LOSS (CBC 1011.2 - 1011.5.3)
- THE MEANS OF EGRESS, INCLUDING THE EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. 9. FIREPROOFING
- A. FIRE PROTECTION OF STRUCTURAL MEMBERS SHALL BE IN COMPLIANCE WITH STATE
- REGULATIONS. B. STEEL FIREPROOFING THICKNESS SHALL BE IN COMPLIANCE WITH THE CURRENT EDITION
- OF THE CBC . C. PERIODIC INSPECTIONS SHALL BE PROVIDED FOR ALL REQUIRED SPRAYED-ON FIREPROOFING TO THE REQUIREMENTS OF CBC CHAPTER 17A SPECIAL INSPECTIONS. THE INSPECTOR SHALL SUBMIT A SIGNED AFFIDAVIT THAT ALL SPRAYED-ON FIREPROOFING, WHERE REQUIRED, IS APPLIED ACCORDING TO CODE AND MANUFACTURER'S SPECIFICATIONS.
- 10. SAFING INSULATION
- THE SPACE BETWEEN THE EDGE OF THE FLOOR AND ROOF SLAB AND THE EXTERIOR WALL SHALL BE FILLED WITH SAFING INSULATION TO MAINTAIN RATING CONTINUITY OF FLOOR CONSTRUCTION

APPLIC

ALL WORK SHALL COMPLY W - 2013 CALIFORNIA BUILDING (REFERENCING 2012 IN - 2013 CALIFORNIA FIRE CODE (REFERENCING 2012 INT - 2013 CALIFORNIA PLUMBING (REFERENCING 2012 UI

- 2013 CALIFORNIA MECHANIC (REFERENCING 2012 UN

- 2013 CALIFORNIA ELECTRIC (REFERENCING 2011 N - 2013 CALIFORNIA EXISTING

PROJE

APN#: LEGAL DESCRIPTION: SITE ADDRESS: SPECIFIC PLAN: USE TYPE: BUILDING 'A' ADDRESS: BUILDING 'B' ADDRESS: **BUILDING 'C' ADDRESS:**

EXISTING SITE SUMMARY ZONE CODE LAND USE: LAND AREA: TOTAL BUILT AREA (BLDG LAND/ BUILDING RATIO: PARKING REQUIRED: PARKING PROVIDED: **BUILDING SUMMARY:** BUILDING 'A'

-NO ADDITION OF SQUARE

BUILDING 'C'

BUILDING 'E

BUILDING 'B' & 'C' TOTAL: BUILDING 'A' & 'B' & 'C' TOT

BUILDING OCCUPANCY CLA OCCUPANCY GROUP: CONSTRUCTION TYPE: (BU NUMBER OF STORIES BUILDING HEIGHT:

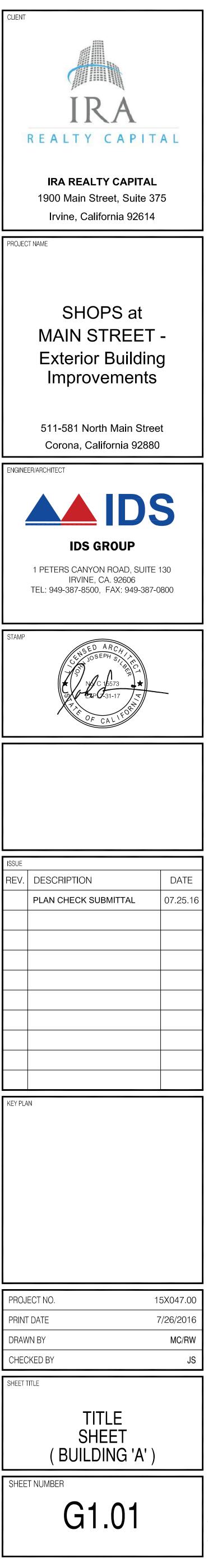
FIRE PROTECTION SYSTEM FIRE PROTECTION ALARM FIRE STAND PIPE SYSTEM TITLE 24 CLIMATE ZONE:

SITE PARKING ANALYSIS

VICINI⁷



APPLICABLE CODES	SCOPE OF WORK
WORK SHALL COMPLY WITH THE FOLLOWING CODES: 13 CALIFORNIA BUILDING CODE (REFERENCING 2012 INTERNATIONAL BUILDING CODE (ICC) 13 CALIFORNIA FIRE CODE (REFERENCING 2012 INTERNATIONAL FIRE CODE (IFC) 13 CALIFORNIA PLUMBING CODE (REFERENCING 2012 UNIFORM PLUMBING CODE (IAPMO) 13 CALIFORNIA MECHANICAL CODE (REFERENCING 2012 UNIFORM MECHANICAL CODE (IAPMO) 13 CALIFORNIA ELECTRICAL CODE (REFERENCING 2011 NATIONAL ELECTRICAL CODE (NEC) 13 CALIFORNIA EXISTING BUILDING CODE (REFERENCING 2012 INTERNATIONAL EXISTING BUILDING CODE (ICC)	THIS PROJECT CONSISTS OF THE EXTERIOR REMODEL OF AN EXISTING RETAIL STRUCTURE, LOCATED IN THE CITY OF CORONA, CA. SCOPE INCLUDES: IMPROVEMENTS TO THE EXISTING MULTI - TENANT BUILDING 'A' (581 N. MAIN) SHELL: EXTERIOR SURFACE AREA REVISED - 1,476. SQ. FT. EXISTING MAIN ENTRY "A" FRAME INTO A MORE CONTEMPORARY FACADE; AND THE INTRODUCTION OF A LINEAR CANOPY ON ONE SIDE OF THE MAIN ENTRY. REFER TO REFERENCE DOCS FOR ADDITIONAL INFORMATION: EXISTING MULTI - TENANT BUILDING 'C' (511 N. MAIN) - REFER TO BUILDING PERMIT #B1601363 REVISIONS TO THE EXISTING SITE - REFER TO BUILDING PERMIT #B1601365 EXISTING SINGLE TENANT BUILDING 'B' (541 N. MAIN): - REFER TO BUILDING PERMIT #B1601365 SIGNAGE (MALL MONUMENT SIGNS / TENANT SIGNS) - SEE PLANNING DEPT. APPROVAL #PP16-003M INCLUDING ACCESSIBLE PATH OF TRAVEL, SITE WORK IMPROVEMENTS AND PARKING IMPROVEMENTS
PROJECT DATA	DRAWING INDEX
N#: 119-280-047 IGAL DESCRIPTION: 3.18 ACRES NET IN PAR 1 PM 120 / 062 PM 19 TE ADDRESS: 511 N. MAIN STREET, CORONA, CA 92879 VECIFIC PLAN: SP-99-1 - NORTH MAIN STREET DISTRICT SPECIFIC PLAN SE TYPE: COMMERCIAL JULDING 'A ADDRESS: 581 N. MAIN STREET, CORONA, CA 92879 JULDING 'A ADDRESS: 581 N. MAIN STREET, CORONA, CA 92879 JULDING 'C' ADDRESS: 511 N. MAIN STREET, CORONA, CA 92879 JULDING 'C' ADDRESS: 511 N. MAIN STREET, CORONA, CA 92879 JULDING 'C' ADDRESS: 511 N. MAIN STREET, CORONA, CA 92879 JULDING 'C' ADDRESS: 511 N. MAIN STREET, CORONA, CA 92879 JULDING 'C' ADDRESS: 511 N. MAIN STREET, CORONA, CA 92879 JULDING 'C' ADDRESS: COMMERCIAL RETAIL NO CHANGE ND AREA: 138,184 SF NO CHANGE ND ABEA: 138,184 SF NO CHANGE ND' BUILDING RATIO: 1.73/1 NO CHANGE ND' BUILDING RATIO: 1.73/1 VICKING REQUIRED: JULDING 'A' 22,493 GSF 22,431 GSF O ADDITION OF SQUARE FOOTAGE 11,931 GSF (NOT IN SCOPE) JULDING 'A' & 'B' & 'C' TOTAL: 28,591 GSF JULDING	GENERAL - COVERSHEET GA1.02 ABBREVIATIONS, LEGENDS, & SYMBOLS GA1.03 ACCESSBILITY NOTES GA1.04 MEANS OF EGRESS & ACCESSIBILITY PLAN GA1.05 GENERAL NOTES GA1.06 GENERAL NOTES GA1.07 BUILDING A- EXISTING SITE PHOTOS AA2.00 BUILDING A - EXISTING SITE PHOTOS AA2.01 BUILDING A - EGRESS PLAN, EXISTING & PROPOSED AA2.02 BUILDING A - FLOOP PLAN, DEMOLITION & PROPOSED AA2.03 BUILDING A - ROLOP PLAN, DEMOLITION & PROPOSED AA2.04 BUILDING A - REFLECTED CELLING PLAN, DEMOLITION & PROPOSED AA3.05 BUILDING A - REFLECTED CELLING PLAN, DEMOLITION & PROPOSED AA3.01 BUILDING A - REFLECTED CELLING PLAN, DEMOLITION & PROPOSED AA3.02 BUILDING A - KATERIOR ELEVATIONS, EXISTING AA3.03 BUILDING A - WALL SECTIONS AA4.04 BUILDING A - WALL SECTIONS AA4.05 BUILDING A - DOOR / WINDOW & FINISH SCHEDULE AA8.01 BUILDING A - DOOR / WINDOW & FINISH SCHEDULE AA8.02 BUILDING A - DETAILS S101 GENERAL NOTES S201 BLIDG A - FOUNDATION PLAN AND LOW FRAMING PLAN
FLE 24 CLIMATE ZONE: ZONE 10	 DEFERRED APPROVALS THE FOLLOWING ITEMS SHALL BE SUBJECT TO SEPARATE REVIEW AND APPROVAL: GRADING (PART OF B1601363) FIRE SPRINKLER SYSTEM FIRE ALARM SYSTEM (NO SCOPE) EXTERIOR SIGNAGE (PLANNING DEPT. APPROVAL #PP16-003M)
SUITE TENANT NAME SOUARE USE PARKING SU 101 VACANT 5,502 REST, 1/125 44 1/12 102 PAN'S SPORTSWARE I, SOU RETAIL 1/375 4 1/12 103 VACANT 2,400 RETAIL 1/375 6 104 HELEN'S NAILS 1,200 RETAIL 1/375 10 106 BARG A BOUT HAR 2,400 RETAIL 1/375 10 6 PARKING REQUIRED 73 73 73 73 73 PARKING REQUIRED 352 REST. 1/126 3 10 101 VACANT 1,000 RETAIL 1/375 3 10 102 ANGEL ALTERATION 800 RETAIL 1/375 3 6 101 VACANT 1,000 RETAIL 1/375 3 6 103 KAMRAN STAFING 1,200 RETAIL 1/375 7 6 105 </td <td>M. MAIN STREET UITE TENANT NAME SQUARE USE PARKING 1 NUNA NALS 1.200 RETALL 1/375 3 2 VACANT 3.800 RETALL 1/375 1 3 WESTERN DENTAL 4.200 DENTAL 1/200 21 PARKING REQUIRED 34 34 34 3 N. MAIN STREET 34 34 4 N. MAIN STREET 1,380 RETALL 1/375 4 -1 DRY OLEANERS 2,000 RETALL 1/375 4 -4 KARATE STUDIO 1,380 RETALL 1/375 4 -5 VACANT 1,380 RETALL 1/375 4 -6 CORTOWLESPRICES 2,277 MEICALL 1/375 5 -7 HAIR SENSATIONZ 1,380 RETALL 1/375 5 -8 LABOR FINDERS 1,283 RETALL 1/375 5 -9 ANS DARCET ULEATH 4,737 8 5 5 -9 ANS DARCET J.787 RETALL 1/375 5 -1 HAIR SENSATIONZ 1,787 RETALL 1/375 5 -2 JA</td>	M. MAIN STREET UITE TENANT NAME SQUARE USE PARKING 1 NUNA NALS 1.200 RETALL 1/375 3 2 VACANT 3.800 RETALL 1/375 1 3 WESTERN DENTAL 4.200 DENTAL 1/200 21 PARKING REQUIRED 34 34 34 3 N. MAIN STREET 34 34 4 N. MAIN STREET 1,380 RETALL 1/375 4 -1 DRY OLEANERS 2,000 RETALL 1/375 4 -4 KARATE STUDIO 1,380 RETALL 1/375 4 -5 VACANT 1,380 RETALL 1/375 4 -6 CORTOWLESPRICES 2,277 MEICALL 1/375 5 -7 HAIR SENSATIONZ 1,380 RETALL 1/375 5 -8 LABOR FINDERS 1,283 RETALL 1/375 5 -9 ANS DARCET ULEATH 4,737 8 5 5 -9 ANS DARCET J.787 RETALL 1/375 5 -1 HAIR SENSATIONZ 1,787 RETALL 1/375 5 -2 JA
VICINITY MAP	PROJECT TEAM
Andrew Cr Andrew Cr	OWNER IRA REALTY CAPITAL 1900 MAIN STREET, STE. 375 IRVINE, CA 92614 TE: (949) 258-7402 FAX: (949) 861-6554 CONTACT: AMER F, KASM akasm@iracapital.com DX GROUP IPETERS CANYON ROAD, SUITE 130 IRVINE, CALIFORNIA 92606 TE: (949) 387-8500 PETERS CANYON ROAD, SUITE 130 IRVINE, CALIFORNIA 92606 TE: (949) 387-8500 FAX: (94



2. PLANS, ELEVATIONS, SECTIONS, AND DETAILS ARE NUMBERED ACCORDING TO THE MODULE SYSTEM SHOWN IN THE ILLUSTRATION ABOVE. 3. ALTHOUGH THE MODULE NUMBERS MAY OCCUR IN CONSECUTIVE ORDER, NOT ALL NUMBERS ARE NECESSARILY USED ON EACH SHEET.

3

TENANT

1. DETAILS ARE NUMBERED ACCORDING TO THEIR LOCATION ON EACH SHEET AND ARE NOT NUMBERED CONSE	CUTIVELY.

5

20

17

16

15)

(13)|(9)

12

)|(11

10)|(6

8

I. DETAILS ARE NUMBER	RED ACCORDING TO THE	EIR LOCATION ON EACH SHI	EET AND ARE NOT NUMBERE	ED CONSECUTIVELY.	
2 PLANS ELEVATIONS	SECTIONS AND DETAIL	S ARE NUMBERED ACCORD	ING TO THE MODULE SYSTE	M SHOWN IN THE ILL USTRATIO	

I. DETAILS ARE NUMBERED ACCORDING TO THEIR LOCATION ON EACH SHEET AND ARE NOT NUMBERED CONSECUTIVEL	Y.

1.	DET	AILS	ARI	E NU	IMBE	RED	ACC	COR	DIN	G TC) TH	EIR	LO	CAT	ГЮІ	NON	I EA	СН	SHE	ET	ANE) AR	ΈN	от	NUM	1BEF	RED	COI	NSE	CU	TIV	ELY.	

1. DETAILS ARE NUMBERED ACCORDING TO THEIR LOCATION ON EACH SHEET AND ARE NOT NUMBERED CONSECUTIVELY.	

		ABOVE REFERENCE GRADE OF
		TOP OF PAVEMENT ABOVE REF OR PARAPET ABOVE REFEREN
	A -	GRID IDENTIFICATION
		GRID LINE
	WORKING DRAWING MODULE EXAMPLE:	
ſ		

20 16	12	8	4	TENANT IMPROVEMENTS
19 15	11	7	3	PERSONAL AND
18 14	10	6	2	
17 13	9	5		1997 19 19 19 19 19 19 19 19 19 19 19 19 19

EXIST. OR (E) EXISTING

EXPANSION JOINT

EXTERIOR INSULATION AND FINISH SYSTEM

EXPOSED

EXTERIOR

FACE BRICK

FAN COIL UNIT

FEM. NAPKIN DISPOSAL

EXP. JT.

EXP'D

EXT

E.I.F.S.

FB

F.C.U.

F.N.D.

RAWING MODULE LAYOUT:

ALUM ALUMINUM CONT. CONTINUOUS F.N.V. FEM. NAPKIN VENDOR A.B. ANCHOR BOLT CLL CONTRACT LIMIT LINE FIN.RAD. FIN TUBE RADIATION APPROX APPROXIMATE CONTR CONTRACTOR FIN FINISH ARCH ARCHITECTURAL CJT CONTROL JOINT F.A. FIRE ALARM AD AREA DRAIN CONV. CONVECTOR FEC FIRE EXTINGUISHER CAB. AUTO AUTOMATIC C.G. CORNER GUARD FHC FIRE HOSE CABINET CORRIDOR FIRE HYDRANT ASL ABOVE SEA LEVEL CORR. F.H. COUNTER SINK FIRE PROOFING C.S. F.P. FLAT HEAD MACH. SCREW CRS C.R. COURSE FHMS B.E.J. BRICK EXPANSION JOINT CURTAIN ROD FLAT HEAD WOOD SCREW BSMT FHWS BASEMENT C.R.-1 CRASH RAIL FLOOR B.T. BATH TUB FL. FLOOR DRAIN DEM DEMOLISH / DEMOLITION F.D. BM BEAM FRAME FR BRG BEARING DET. DETAIL F.S. FINISH SLAB B.M. BENCH MARK DIAG. DIAGONAL FOOT BET BETWEEN DIA. DIAMETER FΤ FTG FOOTING BIT BITUMINOUS DIFF. DIFFUSER FOUNDATION BLOCK FDTN BLK DIM. DIMENSION FUR FURRING BLKG BLOCKING DISPENSER DISP. FUR.CH. FURRING CHANNEL/S BOARD DITTO DO ΒD BOTH SIDES F.W. FULL WIDTH DR DOOR FABRIC WALL COVERING BOT BOTTOM DOUBLE F.W.C. DBL BRK BRICK DOWN DN GAL GALLON B.C. BRICK COURSE DOWNSPOUT DS GALVANIZED GALV BLDG BUILDING DWG DRAWING GALVANIZED IRON GI BUR BUILT-UP ROOFING D.F. DRINKING FOUNTAIN GAGE GA В.О. BY OWNER ΕA EACH G.C. GENERAL CONTRACT CAB CABINET ELEC ELECTRICAL GLASS GL ELECTRIC CABINET C.H. CABINET HEATER G.B. GRAB BAR ELEC CAB CHNL G.W.B. HR-1 GYPSUM WALL BOARD CHANNEL ELECTRIC PANEL EPNL HANDRAIL C.O. CLEAN OUT EWC ELECTRIC WATER COOLER HDNR HARDENER C02 CARBON DIOXIDE EL ELEVATION HDW HARDWARE CARP CARPET ELEV. ELEVATOR HD.WD. HARDWOOD C.W. CASEWORK EQ EQUAL HTR HEATER C.I. CAST IRON E.O. EQUIPMENT BY OWNER HTG HEATING C.B. CEM CATCH BASIN ЕX EQUIPMENT, X-RAY HEATING, VENTILATING & AIR CONDITIONING HVAC EX.F. CEMENT EXHAUST FAN СМ CENTIMETER SYMBOL DESCRIPTION Ν NORTH ARROW WORK POINT, CONTROL POINT, DATUM POINT OR START POINT FOR LAYING OUT CEILING GRID TOP OF WALL ABOVE REFERENCE GRADE OR FLOOR LEVEL TOP OF CONCRETE OR CURB OR FLOOR LEVEL REFERENCE GRADE ENCE FLOOR LEVEL

ABOVE FINISHED FLOOR

ACCESSORY GROUP

ACCESS DOOR

ACOUSTICAL TILE

ACOUSTICAL

ADDENDUM ADJACENT

ALTERNATE

AIR CONDITION

AFF

A.G.

A.D.

ACT.

ADJ

A.C.

ALT

ADD

ACOUS

СТ

CHBD

CLG.

CLR

COL

CONC.

CMU

COND

C.S.V.

CERAMIC TILE

CHALK BOARD

CEILING

CLEAR

COLUMN

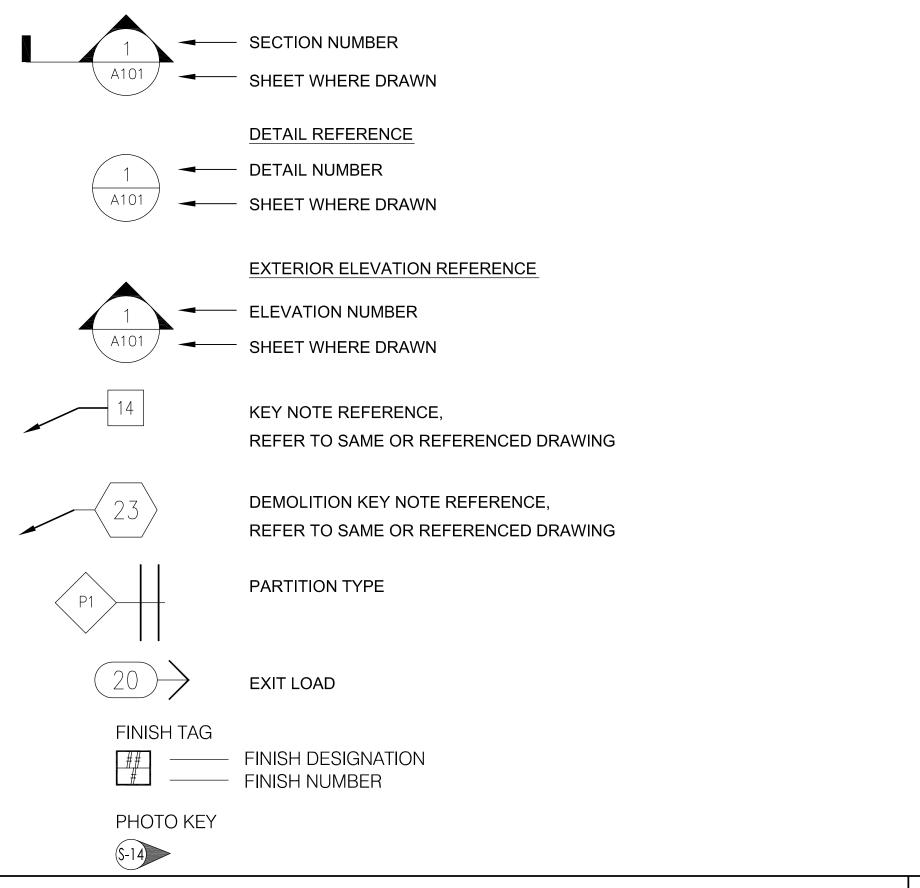
CONCRETE

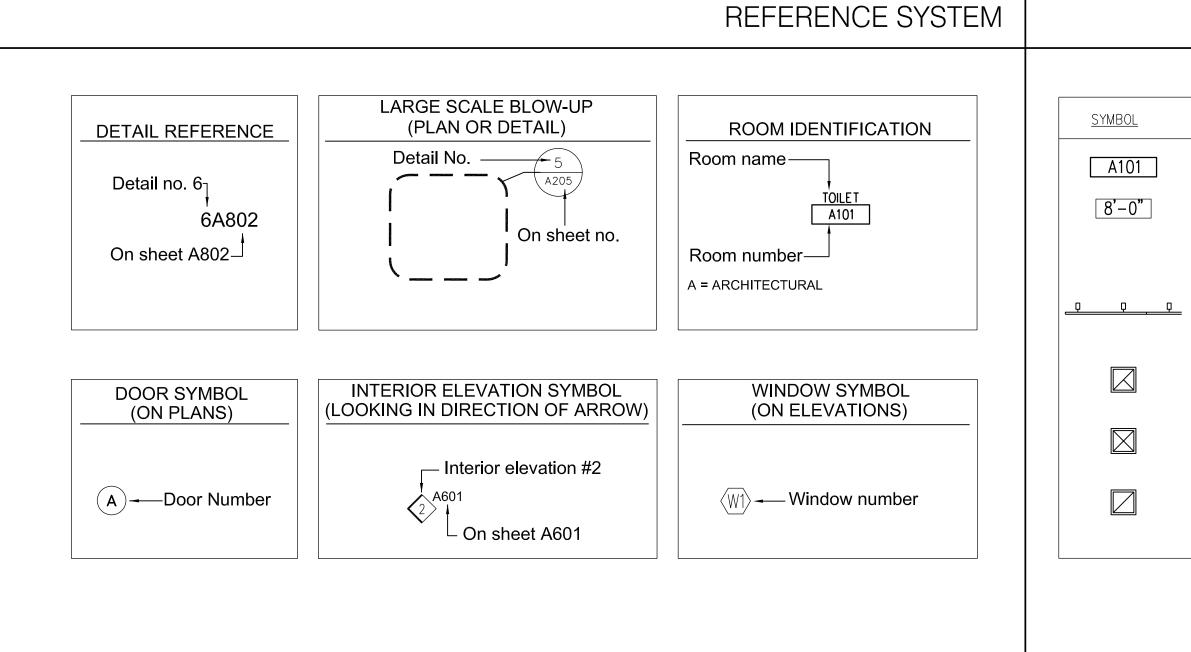
CONDUCTIVE

CONCRETE MASONRY UNIT

CONDUCTIVE SHEET VINYL

HT HC HM HORIZ HB H.C. H.C.U. H.C.U. H.C.T H.PL. H.P.L. H.P.L. H.V. HR INCIN. I.D. INSUL. INS. GL. INS. GL. INS. GL. INS. GL. INT. IV INV JAN JT KIT KO L.C. LAM L. L.GL. LH LGT LT LT. F. LTWT L.F. LTWT L.F. LTWT L.F. LTU LL LL LL LL LL KACH M.H. MFR MARB MAS	HEIGHT HOLLOW CORE HOLLOW METAL HORIZONTAL HOSE BIBB HOSE CABINET HOSPITAL CASEWORK UNIT HOSPITAL CUBICLE TRACK HOT PLATE HIGH PRESSURE PLASTIC LAMINATE HOUR INCINERATOR INSIDE DIAMETER INSULATE (D) (ION) INSULATED CLASS INTERIOR INTRAVENOUS INVERT JANITOR JOINT KITCHEN KNOCK OUT LABORATORY CASEWORK LAMINATED LAVATORY LEADED GLASS LEFT HAND LENGTH LIGHT LIGHT PANEL LIGHT WEIGHT LINEAR FEET LINTEL LIVE LOAD LONG LEG HORIZONTAL LOUVER LOW POINT MACHINE MANUFACTURER MARBLE MASONRY	M.O.MASONRY OPENINGMATLMATERIALMAXMATRIALMAXMATRIALMAXMATRIALMCHMECHANICALMCMEDICINE CABINETMEMBMEMBRANEMETMETALMTDMOUNTEDM.T.P.METAL TOILET PARTITIONMET.TM.METAL TRIMM.W.U.MILWORK UNITMIN.MINUMMSC.MISCELLANEOUSMODMODULARM.H.MOP HOPPERMOVMOVABLEMULLMULLION(N)NEWNATNATURALN.I.NIGHT LIGHTN.JONITOUS OXDENRCNOISE REDUCTION COEFF.N.I.C.NOT IN CONTRACTN.T.S.NOT TO SCALENOMNOMNALNO.NUMBEROBSOBSCUREO.C.ON CENTEROPHOPPOSITE HANDO.D.OUTSDE DIAMETEROHMSOVAL HEAD MACH SCREWOHMSOVAL HEAD MACH SCREWOHMSOVAL HEAD MACH SCREWOHOVERALLOHOVERALLOHOVERALLOHOVERALLOHOVERALLOHOVERALLOHOVERALLOHOVERALLOHOVERALLOHOVERALLOHOVERALLOHOVERALLOHOVERALLOHOVERALLOHOVERALLOHPARENTONE<	PLAS.PLASTERP.LAMPLASTIC LAMINATEPLPLATEPLGLPLATE GLASSPMBPLUMBINGPMLDPREMOLDEDPWDPLYWOODPTPOINTPPGLPOLISHED PLATE GLASSPPTGLPOLISHED PLATE TEMPERED GLASSPWQLPOLISHED PLATE WIRE GLASSPVCPOLVINYL CHLORDEPCFPOUNDS PER CU.FT.PSIPOUNDS PER SQ.FT.P.P.POWER PANELPCPPRECAST CONCRETE PANELPCFPOWER PANELPCPPREFABRICATEDPREF.PREFINISHEDPSCPRE-STRESS CONC.PROJ.PROJECTIONPLPROPERTY LINEQTQUANTITYQTQUANTITYQTQUARY TILERADRADIUSR.W.L.RAIN WATER LEADERRECPT.RECEPTACLE, ELECTRICREC.RECESS (ED)RE:REFRE TOR.C.P.REFINERATORREG.REGISTERRINF.REINFORCE (D) (ING)REODRECODRETREINF. CONC.PIPERETREVENSEREVREVISIONRHRICHT HANDROWRICHT OF WAYRRISERRVTRIVETR.D.ROOF DRAIN	RFHROOF HATCHR.V.ROOF VENTRFGROOFINGRMROOMR.F.S.ROOM FINISIROROOF OPENIRNDROUNDRBLRUBBLE STOSDLSADDLES.N.C.SAN.NAP.CAS.N.D.SAN.NAP.CAS.N.D.SAN.NAP.CAS.N.D.SAN.NAP.COSSNTSEALANTSTGSEATINGSECTSECTIONS.S.SERVCE SINS.B.SHAMPOO BSHTHSHEATHINGSHTSHELF, SHELSHRSHOWERSIMSIMILARSSINKS.D.SOAP DISPESPKRSPECAL FLFS.W.C.SPECIAL FLF	TEMP.GL. TER. SCHEDULE THK G THR G T E TO. E TO. NET TOS OSER T.O.B T.O.F T.O.F T.O.FIG T.O.F T.O.FIG T.O.F T.O.FIG U.C. V/C U.C. U.C. U/C U.C. U.C. SER U.L. OCATING U.H. IS U.N.O. EEL V.T.R. VENT V.I.F. VERT VEST ZED TILE V.C.T. VWC. V VT VSCT VKC. V VEST V.T.	TEMPERATURE TEMPERED GLASS TERRAZZO TEXTURE THICK (NESS) THRESHOLD TISSUE DISPENSER TOILET (FIXTURE) TOILET PAPER HOLDER TONGUE & GROOVE TOP OF STEEL TOP OF STEEL TOP OF FASCIA TOP OF FOOTING TOP OF FASCIA TOP OF FOOTING TOP OF PARAPET TOP OF WALL TOWEL BAR TYPICAL UNDERCUT UNDER COUNTER UNDER SABORATORIES INC. UNDERGROUND UNIT HEATER UNIT VENTILATOR UNESS NOTED OTHERWISE URINAL UPOLSTERY VENT THRU ROOF VENTULATOR VERIFY IN FIELD PRIOR TO FABRICATION VERTICAL VESTIBULE VINYL COMPOSITION TILE VINYL COMPOSITION TILE VINYL WALL COVERING VINYL VINYL TILE WAINSCOT WASTE WATER CLOSET WATER CLOSET WATER LINE WEATHER STRIP WEIGHT WELDED WIRE FABRIC	W.C.D.F. WHEELCHAIR DRINKING FOUNTAIN WG WIRE GLASS W.M.P. WIRE MESH PARTITION W/ WITH W/O WITHOUT WD WOOD	
								SYMBOL LEGEND
	BUILDING S	ECTION & WALL SECTION		<u>CC</u>	MPONENT SYMBOLS	LEGEND		S
		- SECTION NUMBER		<u>SY</u>	IBOL FIRE PROTECTION	<u>ON</u>		
	A101			-		R HEAD	SIGN POST	
		DETAIL REFERENCE			E			
		 DETAIL NUMBER SHEET WHERE DRAWN 		(SURFACE-MOUI W/ 2A-10B:C (U.M	NTED FIRE EXTINGUISHER N.O.)	HOSE BIBB	
		EXTERIOR ELEVATION REFERENCE		F		D FIRE EXTINGUISHER CABINET	ACCESSIBI	F
		ELEVATION NUMBER		[·····	W/ 2A-10B:C (U.N	N.O.)	SYMBOL	
	A101				SLAB DEPRESS	ION (LABELED)		IS
	14	KEY NOTE REFERENCE, REFER TO SAME OR REFERENCED DRAWING	3					R
		DEMOLITION KEY NOTE REFERENCE,	-			ATION		
	$\langle 23 \rangle$	REFER TO SAME OR REFERENCED DRAWING	G	<u>SY</u>	<u>IBOL</u> <u>SITE</u>			
	P1	PARTITION TYPE		F.H	(N/E) FIRE HYDRANT	(N) NEW OR (E) EXISTING		
				P. <i>A</i>	PLANTING AREA	A		
	(20) FINISH TAG	EXIT LOAD			RED CURBING F	OR FIRE LANE		
	[##]	 FINISH DESIGNATION FINISH NUMBER 		X	SIAMESE CONN	ECTION		0
	PHOTO KEY							,25/16





ABBREVIATIONS

INTERIOR DOOR & FRAME PLAN SYMBOL (HOLLOW METAL & WOOD DOORS) <u>CEILING TYPE</u> <u>SYMBOL</u> <u>CEILING TYPE</u> LINEAR DIFFUSER OR GRILL ROOM NUMBER Indicates 1" undercut Indicates Louver CEILING HEIGHT 1 ----- Door Number See Door Schedule CEILING TYPE A: VIEW WINDOW SYMBOLS (ON PLANS) 2' x 4' LAY-IN SUSPENDED GRID TRACK LIGHTING r-----L. ____ DIMENSIONS ARE TO CENTER LINE OF OPENING, U.N.O. CEILING TYPE GB: GYPSUM BOARD, PAINT MECHANICAL EXHAUST FAN CEILING TYPE EC: EXPOSED OR EXISTING SLIDING WINDOW, WHERE OCCURS MECHANICAL SUPPLY FINISH AS SCHEDULED AIR DEVICE

CEILING TYPE MD:

EXPOSED METAL DECK

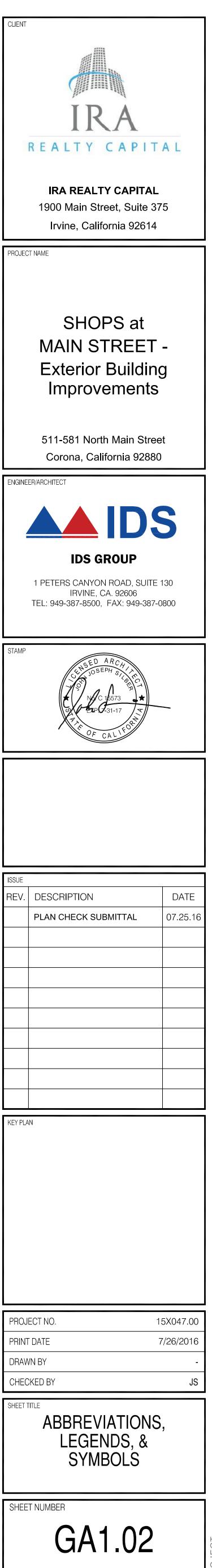
FINISH AS SCHEDULED

RETURN AIR GRILLE

INT. OPENING SYMB'S DRS & WINDOWS

REFLECTED CEILING PLAN SYMBOLS

 \mathbf{n}



DISABLE ACCESS PARKING SIGN REQUIREMENT AND ACCESSIBILITY SIGNAGE SIGNS AND IDENTIFICATIONS:

- 1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE THE STANDARD USED TO IDENTIFY FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PHYSICALLY DISABLED PERSONS AS SET FORTH IN TITLE 24 AND AS SPECIFICALLY REQUIRED IN THIS SECTION.
- 2. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO. 15090 IN FEDERAL STANDARD 595B.
- 3. CHARACTER SPACING SHALL COMPLY WITH CBC 11B-703.2.7. CHARACTERS SHALL BE SEPERATED FROM RAISED BORDERS AND DECORATIVE ELEMENTS $\frac{3}{8}$ INCH MINIMUM (CBC 11B-703.2.7).
- 4. CHARACTERS SAHLL BE SELECTED FROM FONTS WHERE THE WIDTH OF THE UPPERCASE LETTER "O" IS 60 PERCENT MINIMUM 110 PERCENT MAXIMUM OF THE HEIGHT OF THE UPPERCASE LETTER "I". STROKE THICKNESS OF THE UPPERCASE LETTER"I" SHALL BE 15 PERCENT MAXIMUM OF THE HEIGHT OF THE CHARACTER. (CBC 11B-703.2.4 & CBC 11B-703.2.6)
- 5. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
- 6. WHEN RAISED CHARACTERS OR SYMBOLS ARE USED, THEY SHALL CONFORM TO THE FOLLOWING:
 A. LETTERS AND NUMBERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM (CBC 11B-703.2.1) AND SHALL BE SAN-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE COMPLYING WITH (CBC 11B-702.2.3)
- B. RAISED CHARACTERS OR SYMBOLS SHALL BE A MINIMUM OF 5/8" HIGH & MAX OF 2". (CBC 11B-703.2.5)
- C. PICTORIAL SYMBOL SIGNS (PICTOGRAMS) SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENSION OF THE PICTOGRAM SHALL BE A MINIMUM OF 6" IN HEIGHT. (CBC 11B-703.6)
- 7. CONTRACTED (GRADE 2) BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 2.50 MM) ON CENTER IN EACH CELL WITH (7.6 MM) SPACE BETWEEN CELLS, MEASURED FROM THE FIRST COLUMN OF DOTS IN THE FIRST CELL TO THE FIRST COLUMN OF DOTS IN THE SECOND CELL. DOTS SHALL BE RAISED A MINIMUM OF (0.60 MM) ABOVE THE BACKGROUND. BRAILLE DOTS SHALL BE DOMED OR ROUNDED.
- 8. ENTRANCES TO BUILDINGS AND FACILITIES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES SHALL BE IDENTIFIED WITH A MINIMUM OF ONE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND WITH ADDITIONAL DIRECTIONAL SIGNS, UTILIZING THE SYMBOL, AT JUNCTIONS WHERE THE ACCESSIBLE ROUTE OF TRAVEL DIVERGES FROM THE REGULAR CIRCULATION PATH, TO BE VISIBLE TO PERSONS ALONG APPROACHING CIRCULATION PATHS. EXISTING BUILDINGS AND FACILITIES, ENTRANCES WHICH ARE NOT ACCESSIBLE SHALL HAVE DIRECTIONAL SIGNAGE COMPLYING, WHICH INDICATES THE LOCATION OF AND ROUTE TO THE NEAREST ACCESSIBLE ENTRANCE.
- 9. EACH PARKING SPACE RESERVED FOR PERSONS WITH DISABILITIES SHALL BE IDENTIFIED BY REFLECTORIZED SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE, CONSISTING OF A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON DARK BLUE BACKGROUND. PARKING IDENTIFICATION SIGNS SHALL BE REFLECTORIZED WITH A MINIMUM AREA OF 70 SQUARE INCHES AND, WHEN IN A PATH OF TRAVEL, SHALL BE POSTED AT A MINIMUM HEIGHT OF 80" FROM ABOVE THE FINISH GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN. SIGNS MAY ALSO BE CENTERED ON THE WALL AT THE INTERIOR END OF THE PARKING SPACE. AN ADDITIONAL SIGN OR ADDITIONAL LANGUAGE BELOW THE SYMBOL OF ACCESSIBILITY SHALL STATE "MINIMUM FINE \$250." (CBC 2013 11B 502.6)
- 10. SIGNS TO IDENTIFY ACCESSIBLE PARKING SPACES MAY BE CENTERED ON THE WALL AND AT THE INTERIOR OF THE PARKING SPACE AT 80" MINIMUM ABOVE FINISH GROUND SURFACE MEASURE TO THE BOTTOM OF THE SIGN. (CBC 2013 11B 502.6)
- 11. VAN ACCESSIBLE PARKING SPACES SHALL HAVE AN ADDITIONAL SIGN STATE "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. AND SIGN SHALL BE 80" ABOVE FINISH FLOOR (CBC 11B-502.6)
- 13. ADDITIONAL SIGN SHALL ALSO BE POSTED, IN A CONSPICUOUS PLACE, AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. THE SIGN SHALL BE NOT LESS THAN 17" BY 22" IN SIZE WITH LETTERING NOT LESS THAN 1" IN HEIGHT. (CBC 2013 11B-502.8)
- 14. EACH ACCESSIBLE CAR AND VAN SPACE SHALL HAVE SURFACE IDENTIFICATION COMPLYING WITH EITHER OF THE FOLLOWING SCHEMES:
- A. THE PARKING SPACE SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY IN WHITE ON A BLUE BACKGROUND A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES FROM THE CENTERLINE OF THE PARKING SPACE, ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE LENGTH;
- B. THE PARKING SPACE SHALL BE OUTLINED OR PAINTED BLUE AND SHALL BE MARKED WITH AN INTERNATIONAL SYMBOL OF ACCESSIBILITY A MINIMUM 36 INCHES WIDE BY 36 INCHES HIGH IN WHITE OR A SUITABLE CONTRACTING COLOR. THE CENTERLINE OF THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE A MAXIMUM OF 6 INCHES FROM THE CENTERLINE OF THE PARKING SPACE,ITS SIDES PARALLEL TO THE LENGTH OF THE PARKING SPACE AND ITS LOWER CORNER AT, OR LOWER SIDE ALIGNED WITH, THE END OF THE PARKING SPACE (CBC 11B 502.6.4).
- 15. ALL PARKING FACILITIES SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA CODE OF REGULATIONS (TITLE 24, PART 2, CHAPTER 2-71) AND WITH THE SIGN REQUIREMENTS OF THE CALIFORNIA VEHICLE CODE, SECTION 22507.8 AND SECTION 22511.8.

ACCESSIBLE SIGNAGE NOTES:

- 1. GENERAL CONTRACTOR TO VERIFY EXISTING SIGNAGE IN FIELD AND PROVIDE NEW AS REQUIRED TO COMPLY WITH APPLICABLE BUILDING CODES.
- 2. ALL SIGNAGE SHALL CONFORM WITH ADA ACCESSIBILITY GUIDELINES AND 2013 CBC CHAPTER 11B SEC. 11B-216 AND 11B-703, INCLUDING BUT NOT LIMITED TO PROPORTION, COLOR CONTRAST AND RELIEF.
- 3. GENERAL CONTRACTOR TO VERIFY EXISTING SIGNAGE INSTALLATIONS AND PROVIDE NEW AS REQUIRED.
- 4. CHARACTERS, SYMBOLS AND BACKGROUND SHALL HAVE A NON-GLARE FINISH.

OR

- 5. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THE BACKGROUND, EITHER LIGHT ON DARK BACKGROUND OR DARK ON LIGHT BACKGROUND.
- 6. MOUNTING LOCATION SHALL BE SO THAT A PERSON APPROACHING WITHIN 3" OF SIGN DOES NOT ENCOUNTER PROTRUDING OBJECTS OR WITHIN THE SWING OF A DOOR. (CBC 11B-703.4.1)
- 7. SIGN SHALL COMPLY WITH CBC 11B-216.
- 8. REFER TO SHEET A006 FOR ADDITIONAL SIGNAGE AND GRAPHIC INFORMATION.

ACCESSIBLE PATH OF TRAVEL NOTES:

- I. ACCESSIBLE ROUTE OF TRAVEL IS DEFINED AS "A CONTINUOUS UNOBSTRUCTED PATH CO ACCESSIBLE ELEMENTS AND SPACES OF AN ACCESSIBLE SITE, BUILDING OR FACILITY THA NEGOTIATED BY A PERSON WITH A DISABILITY USING A WHEELCHAIR, AND THAT IS ALSO S/ AND USABLE BY PERSONS WITH OTHER DISABILITIES. INTERIOR ACCESSIBLE ROUTES MAY CORRIDORS, HALLWAYS, FLOORS, RAMPS, ELEVATORS AND LIFTS. EXTERIOR ACCESSIBLE MAY INCLUDE PARKING ACCESS AISLES, CURB RAMPS, CROSSWALKS AT VEHICULAR WAYS RAMPS AND LIFTS."
- 2. THE ACCESSIBLE ROUTE OF TRAVEL SHALL BE THE MOST PRACTICAL DIRECT ROUTE BETW ACCESSIBLE BUILDING ENTRANCES, ACCESSIBLE SITE FACILITIES AND THE ACCESSIBLE EN TO THE SITE. WHERE PARKING LOTS SERVE ACCESSIBLE ENTRANCES OF SEVERAL BUILDI DIFFERENT AREAS ON SITE, ACCESSIBLE PARKING SPACES MUST BE DISPERSED AND LOCA CLOSEST TO THE ACCESSIBLE ROUTE OF TRAVEL. STALLS MAY BE PROVIDED IN A DIFFER LOCATION OR BE CLUSTERED IN ONE OR MORE LOTS IF EQUIVALENT OR GREATER ACCESS ENSURED, IN TERMS OF DISTANCE FROM AN ACCESSIBLE ENTRANCE, USER COST AND CONVENIENCE.
- 3. EACH REQUIRED ACCESSIBLE MEANS OF EGRESS SHALL CONSIST OF ONE OR MORE OF TH COMPONENTS LISTED IN CBC 1007.2.
- 4. ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN 1' RIS OF HORIZONTAL RUN. (CBC CHAPTER 2)
- . PATH OF TRAVEL SHALL HAVE A CROSS SLOPE OF EQUAL OR LESS THAN \leq 2%.
- 6. ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIERFREE ACCESS ROUTE A ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1:2 MAX SLOPE, OR VERTICAL CHANGES NOT EXCEEDING 1/4" MAX, AND AT LEAST 48" IN SURFACE IS STABLE, FIRM, AND S RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVE THAN 5%, UNLESS OTHERWISE INDICATED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINT FREE OF OVERHANGING OBSTRUCTIONS TO 80" INCH MINIMUM, AND PROTRUDING OBJECTS GREATER THAN 4" INCH PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80". ARCH SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
- 7. ACCESSIBLE ROUTE WIDTH SHALL BE MAINTAINED AT 48 INCHES MINIMUM.

DIRECTION.

- 8. ACCESSIBLE ROUTE WIDTH AT 180 DEGREE TURNS SHALL BE MAINTAINED AT 48 INCH MININ DEPTH OF THE OBSTRUCTION IS LESS THAN 48 INCHES WIDE.
- 9. ACCESSIBLE ROUTE SHALL BE SLIP RESISTANT, SURFACES WITH SLOPES UP TO 6% SHALL MEDIUM SALTED FINISH.
- VERTICAL CHANGE IN ACCESSIBLE ROUTE SHALL NOT EXCEED ¹/₄ INCH. LEVEL CHANGE IN ACCESSIBLE ROUTE SHALL NOT EXCEED ¹/₄ INCH. LEVEL CHANGE IN ACCESSIBLE ROUTE BETWEEN ¹/₄ INCH AND 1/2 INCH MUST BE BEVELED AT 1:2 MAX SLOPE. TRANSITIONS RAMPS TO WALKS, GUTTERS, OR STREETS TO BE FLUSH AND FREE OF ABRUPT CHANGES.
 PARKING STALLS AND ACCESS AISLE GRADE SHALL BE LIMITED TO A 2% MAX SLOPE IN ANY
- 12. MINIMUM VERTICAL CLEARANCE OF 98 INCHES AT ACCESSIBLE PARKING SPACES AND ALON VEHICLE ACCESS ROUTE TO SITE ENTRANCES AND EXITS SHALL BE PROVIDED.
- 13. DETECTABLE WARNINGS AT THE FOLLOWING LOCATIONS SHALL COMPLY WITH 11B-705.1.1. LOCATIONS SHALL INCLUDE:
- PLATFORM EDGES DETECTABLE WARNING SURFACES AT PLATFORM BOARDING EDGES S INCHES WIDE AND SHALL EXTEND THE FULL LENGTH OF THE PUBLIC USE AREAS OF THE PL CURB RAMPS- DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE RAMP RULE
- EXCLUDING ANY FLARED SIDES.
 PEDESTRIAN ISLANDS- DETECTABLE WARNINGS AT PEDESTRIAN DETECTABLE WARNINGS A PEDESTRIAN MINIMUM IN DEPTH EXTENDING THE FULL WIDTH OF THE PEDESTRIAN PATH O CUT-THROUGH, PLACED AT THE EDGES OF THE PEDESTRIAN ISLAND OR CUT-THROUGH ME
- BUS STOPS- WHEN DETECTABLE WARNINGS ARE PROVIDED AT BUS STOP PADS, IT SHALL E IN WIDTH.
 HAZARDOUS VEHICLE AREAS- DETECTABLE WARNINGS AT HAZARDOUS VEHICULAR AREAS
- REFLECTING POOLS- WHEN DETECTABLE WARNINGS ARE PROVIDED AT REFLECTING POOL
- BE 24 INCHES (610 MM) MINIMUM AND 36 INCHES MAXIMUM IN WIDTH.
 RAILROAD TRACK CROSSING- DETECTABLE WARNINGS AT TRACK CROSSINGS SHALL BE 36 THE DIRECTION OF PEDESTRIAN TRAVEL AND EXTEND THE FULL WIDTH OF THE CIRCULATION

	SPACE ALLOWANCE AND VERTICAL CHANGE
NNECTING T CAN BE AFE FOR INCLUDE ROUTES S, WALKS,	 THE MINIMUM CLEAR FLOOR OR GROUND SPACE REQUIRED TO ACCOMMODATE A SINGLE, STATIONARY WHEELCHAIR AND OCCUPANT IS 30" BY 48". THE MINIMUM FLOOR OR GROUND SPACE SHALL BE INCREASED TO 42" BY 48" WHEN SUCH SPACE IS PERPENDICULAR TO AN ADJACENT SEATING SPACE. THE MINIMUM CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE POSITIONED FOR FORWARD OR PARALLEL APPROACH TO AN OBJECT. CLEAR FLOOR OR GROUND SPACE FOR WHEELCHAIRS MAY BE PART OF THE KNEE SPACE REQUIRED UNDER SOME OBJECTS. CBC 11B-305 AND 11B-306
VEEN NTRANCE INGS OR ATED	2. ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR OR GROUND SPACE FOR A WHEELCHAIR SHALL ADJOIN OR OVERLAP AN ACCESSIBLE ROUTE OR ADJOIN ANOTHER WHEELCHAIR CLEAR FLOOR SPACE. IF A CLEAR FLOOR OR GROUND SPACE FOR A WHEELCHAIR IS LOCATED IN AN ALCOVE OR OTHERWISE CONFINED ON ALL OR PART OF THREE SIDES, ADDITIONAL MANEUVERING CLEARANCES SHALL BE PROVIDED. CBC 11B-304 AND 11B-305.7
ENT SIBILITY IS I E	 THE SPACE REQUIRED FOR A WHEELCHAIR TO MAKE A 180 DEGREE TURN IS A CLEAR SPACE OF 60" DIAMETER OR A T-SHAPED SPACE. (CBC 11B-304.3) THE MINIMUM CLEAR WIDTH REQUIRED FOR A WHEELCHAIR TO TURN AROUND AN OBSTRUCTION SHALL BE 36" WHERE THE OBSTRUCTION IS 48" OR MORE IN LENGTH AND 42" AND 48" WHERE THE OBSTRUCTION IS LESS THAN 48" IN LENGTH.
ISE IN 20'	5. THE MINIMUM CLEAR WIDTH FOR SINGLE WHEELCHAIR PASSAGE SHALL BE 32" AT A POINT (24" MAXIMUM LENGTH) AND 36" CONTINUOUSLY.
WITHOUT	6. IF THE CLEAR FLOOR SPACE ONLY ALLOWS FORWARD APPROACH TO AN OBJECT, THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL BE 48". THE MINIMUM LOW FORWARD REACH IS 15". (CBC 11B-308.2.1) IF THE HIGH FORWARD REACH IS OVER AN OBSTRUCTION, REACH AND CLEARANCES SHALL BE AS SHOWN IN FIGURE 11B-308.2.2
AL LEVEL SLIP EL IS LESS FAINED S	7. IF THE CLEAR FLOOR SPACE ALLOWS PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR, THE MAXIMUM HIGH SIDE REACH ALLOWED SHALL BE 48" AND THE LOW SIDE REACH SHALL BE NO LESS THAN 15" ABOVE THE FLOOR AS SHOWN IN FIGURE 11B-308.3.1. IF THE SIDE REACH IS OVER AN OBSTRUCTION, THE REACH AND CLEARANCES SHALL BE A SHOWN IN FIGURE 11B-308.2.2
HITECT	(CBC 11B-308.3.2)
MUM IF THE	$\begin{array}{c c} & & & \\ \hline \\ & & \\ & & \\ \hline \\ & & \\ \end{array} \end{array} \xrightarrow{\begin{array}{c} \\ \\ \\ \end{array}} 30^{"} \text{ MIN.} \end{array} \xrightarrow{\begin{array}{c} \\ \\ \\ \end{array}} 48^{"} \text{ MIN.} \end{array}$
BE	(a) (b) forward FIG. 11B-308.5.5 parallel POSITION OF CLEAR FLOOR OR GROUND SPACE
ACCESSIBLE S FROM	1. LEVEL AREA IS DEFINED AS "A SPECIFIED SURFACE THAT DOES NOT HAVE A SLOPE IN ANY DIRECTION EXCEEDING 1/4 INCH IN ONE FOOT FROM THE HORIZONTAL (2.083 % GRADIENT)". (CBC CHAPTER 2)
(2. GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES, INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, AND SLIP-RESISTANT.
NG	3. CHANGES IN LEVEL UP TO 1/4" MAY BE VERTICAL AND WITHOUT EDGE TREATMENT.
REQUIRED	4. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH SLOPE NOT STEEPER THAN 1:2
HALL BE 24 .ATFORM.	Figure 11B-303.2 FIGURE 11B-303.3 ENTRANCE AND EXITS: VERTICAL CHANGE IN LEVEL BEVELED CHANGE IN LEVEL
N AT JR	 EXIT AS DEFINED IS "A CONTINUOUS AND UNOBSTRUCTED MEANS OF EGRESS TO A PUBLIC WAY AND SHALL INCLUDE INTERVENING AISLES, DOORS, DOORWAYS, GATES, CORRIDORS, EXTERIOR EXIT BALCONIES, RAMPS, STAIRWAYS, SMOKE PROOF ENCLOSURES, HORIZONTAL EXITS, EXIT PASSAGEWAY,
DIAN. SE 36 INCHES	EXIT COURTS, AND YARDS". 2. FOR THE PURPOSES OF TITLE 24, THE USE OF THE TERM "EXIT DOOR" IN SECTION 1008 APPLIES TO ALL
SHALL BE 36	DOORS THAT PROVIDE ACCESS, THAT IS, ENTRANCES, PASSAGE DOORS, ETC.
S, IT SHALL INCHES IN	 ALL ENTRANCES AND ALL EXTERIOR GROUND FLOOR EXIT DOORS TO BUILDING AND FACILITIES SHALL BE MADE ACCESSIBLE TO PERSONS WITH DISABILITIES.
ON PATH.	 EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
	5. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
	6. HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE THE FLOOR. (CBC 11B-404.2.7)
	7. EVERY DOORWAY WHICH IS LOCATED WITHIN AN ACCESSIBLE PATH OF TRAVEL SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3' IN WIDTH AND NOT LESS THAN 6'-8" IN HEIGHT. WHEN INSTALLED, EXIT DOORS SHALL BE CAPABLE OF OPENING SO THAT THE CLEAR WIDTH OF THE EXIT IS NOT LESS THAN 32".
	8. FOR HINGED DOORS, THE OPENING WIDTH SHALL BE MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
	9. WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
	10. MINIMUM MANEUVERING CLEARANCES AT DOORS SHALL BE AS SHOWN IN FIGURES. THE FLOOR OR GROUND AREA WITHIN THE REQUIRED CLEARANCES SHALL BE LEVEL AND CLEAR.
	11. THERE SHALL BE A LEVEL AND CLEAR FLOOR OR LANDING ON EACH SIDE OF A DOOR. THE LEVEL AREA SHALL DOOR SWING OF 48" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN THE HE CLOSED POSITION.
	 THE WIDTH OF THE LEVEL AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND A MINIMUM OF 24" PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND A MINIMUM OF 18" PAST THE STRIKE EDGE FOR INTERIOR DOORS.
	13. THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING SHALL HAVE A SMOOTH, UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A RAP OR HAZARDOUS CONDITION. WHERE NARROW FRAME DOORS ARE USED, A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEEL CHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION.
	14. MAXIMUM, EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND OF THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS. (CBC
	11B-404.2.9) 2'-8" CLEAR OPENINGS FOR TWO LEAF DOORS MUST BE BETWEEN EITHER DOOR IN ITS 90° OPEN POSITION AND THE EDGE OF THE OTHER DOOR. X>8" X>8" X>8"
	18" MIN. AT INTERIOR 24" MIN. AT EXTERIOR (C) PUSH SIDE, DOOR PUSH SIDE, DOOR PROVIDED WITH
	(A) PULL SIDE
ES NONE	3 SPACE ALLOWANCE NONE 1

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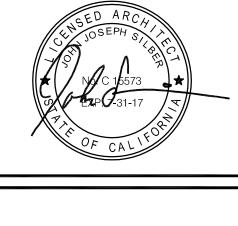
SHEET NUMBER

SHEET TITLE

ACCESSIBILITY NOTES

PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	MC
CHECKED BY	JS

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	REV.	DESCRIPTION	DATE
		PLAN CHECK SUBMITTAL	07.25.16
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IDS GROUP 1 PETERS CANYON ROAD, SUITE 130 IRVINE, CA. 92606 TEL: 949-387-8500, FAX: 949-387-0800

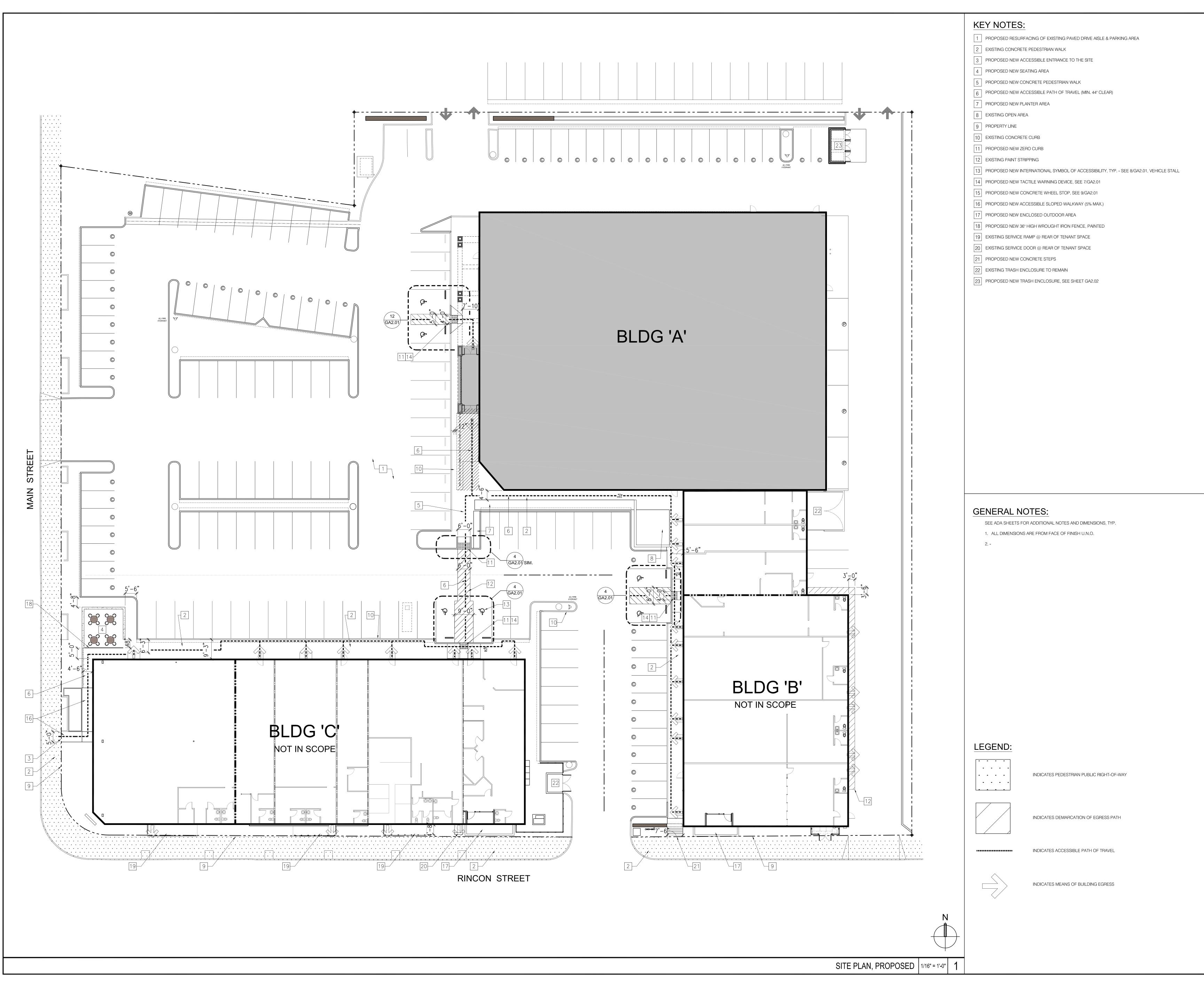


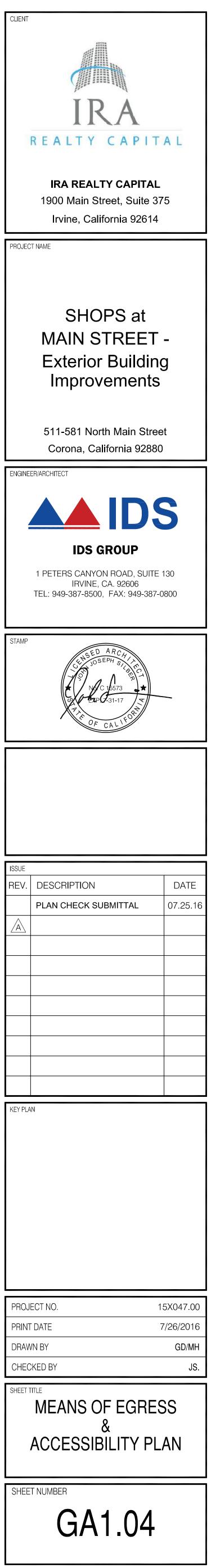
511-581 North Main Street

MAIN STREET -Exterior Building Improvements



CLIENT





ROJECT

INSTRUMENTS OF SERVICE

- THE SCOPE OF THIS PROJECT IS AS GENERALLY DEPICTED IN THESE INSTRUMENTS OF SERVICE AS PART OF THE CONTRACT DOCUMENTS. WORK INCLUDING: POINTS OF CONNECTION, NOT SPECIFICALLY DEPICTED, THAT NEED TO BE MADE ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. ALL WORK PERFORMED EVEN IN REMOTE AREAS OF THE BUILDING OR SITE. PERTAINING TO THIS PROJECT SHALL COMPLY WITH THE INTENT OF CONTRACT DOCUMENTS.
- THESE CONTRACT DOCUMENTS COVER THE FURNISHING AND INSTALLATION OF MATERIALS AND WORK AS CALLED FOR ON THE DRAWINGS OR IN THE SPECIFICATIONS (OR IN BOTH) WHICH ARE BOUND SEPARATELY AND ARE A PART OF THE CONTRACT. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE FINALIZING THEIR BID AND BEFORE THE INSTALLATION OF THEIR WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL AND THE CONSULTING ENGINEER(S) DRAWINGS SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION BY WRITTEN REQUEST FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- GENERAL REQUIREMENTS, DESCRIBING THE PROJECT'S ADMINISTRATIVE REQUIREMENTS AND THE PHYSICAL ASPECTS OF CONSTRUCTION. ARE PROVIDED WITHIN EACH PROFESSIONAL DISCIPLINE'S PROJECT SPECIFICATION AND GENERAL NOTATION. GENERAL REQUIREMENTS ARE NOT LIMITED TO THE INSTRUMENT OF SERVICES AND MAY EXTEND TO THE CONTRACT DOCUMENTS AND OWNER REQUIREMENTS.
- THE PROJECT SPECIFICATIONS CONSISTING OF THE WRITTEN REQUIREMENTS FOR MATERIAL, EQUIPMENT, SYSTEMS, STANDARDS AND WORKMANSHIP FOR THE WORK, AND PERFORMANCE OF RELATED SERVICES ARE CONTAINED WITHIN EACH OF THE ARCHITECT AND THE ARCHITECHT'S INSTRUMENT OF SERVICES. REFER TO GENERAL NOTES FOR ADDITIONAL PROJECT STANDARDS INFORMATION. DOCUMENTS INDICATED AS 'REFERENCE DOCUMENT' ARE NOT CONSIDERED INSTRUMENTS OF SERVICES AND ARE BEING ISSUED TO PROVIDE ASSISTANCE DURING THE REGULATORY AGENCY CONTRACT DOCUMENT REVIEW.
- OVERALL AND BUILDING SCOPE DIAGRAMS PROVIDE GUIDLINE TO IDENTIFY THE LIMIT OF SCOPE.
- REFER TO LIFESAFETY AND ACCESSIBILITY DIAGRAMS THAT INDICATE PROVISIONS WITHIN EXISTING CONDITIONS.
- THESE DRAWINGS ARE BASED ON FIELD OBSERVATION AND DOCUMENTS FURNISHED BY THE OWNER. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR OF ANY DISCREPANCIES OR OTHER QUESTIONS PERTAINING TO THE CONTRACT DOCUMENTS.. IF OBVIOUS OMISSIONS OR CONTRADICTORY SITUATIONS IN THE CONTRACT DOCUMENTS ARE DISCOVERED TO EXIST. THEY SHOULD BE IMMEDIATELY CALLED TO THE ATTENTION OF ARCHITECT FOR CLARIFICATION.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE UNLESS OTHERWISE NOTED BY A PLUS/MINUS DIMENSION. DETAILED DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS. CONTRACTOR SHALL CHECK ACCURACY OF DIMENSIONS ON PLANS WITH ACTUAL FIELD DIMENSIONS. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF ITS WORK. CONTRACTOR SHALL NOT START ANY CONSTRUCTION OR ANY OFF-SITE FABRICATION OF MATERIALS UNTIL THE DRAWINGS DIMENSIONS ARE VERIFIED WITH ACTUAL FIELD CONDITIONS. DO NOT SCALE DRAWINGS.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS THAT THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- WORK INCLUDES DEMOLITION, REMOVAL AND REINSTALLATION WHERE REQUIRED. REMOVE, REVISE, RELOCATE AND REINSTALL AS REQUIRED.
- 1. IT IS NOT THE RESPONSIBILITY OF THE ARCHITECT OR GENERAL CONTRACTOR TO INSURE THAT AREAS OF THE BUILDING, NOT DESCRIBED WITHIN THE SCOPE OF THIS PROJECT COMPLY WITH CURRENT BUILDING CODES. IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE BUILDING, SO AS TO PROVIDE FOR THE SAFETY AND COMFORT OF THE OCCUPANTS. THIS INCLUDES ALL LIFE SAFETY FEATURES SUCH AS FIRE ALARM, FIRE-SPRINKLERS, NURSE CALL, EXIT ENCLOSURE, HANDICAP ACCESSIBILITY, ETC.. THIS ALSO INCLUDES MAINTAINING THE BUILDING FREE OF HAZARDOUS MATERIALS I.E., CHEMICALS AS DESCRIBED BY STATE OR FEDERAL AGENCIES AS "HAZARDOUS". INCLUDING ASBESTOS.

RETAINING FACILITY OPERATIONS DURING WORK

- IT SHALL BE UNDERSTOOD THAT THE FACILITY OUTSIDE THE RENOVATION AREA SHALL CONTINUE NORMAL OPERATIONS THROUGHOUT THE RENOVATION PERIOD. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PLAN, COORDINATE, AND INSTALL ITS WORK SO AS TO ASSURE THE FACILITY WILL RUN NORMALLY. THE CONTRACTOR SHALL ALSO ASSURE THAT THE FACILITY LIFE SAFETY, MECHANICAL, AND ELECTRICAL SYSTEMS ARE NOT TO BE DISTURBED OR INTERRUPTED IN ANY WAY. THE CONTRACTOR SHALL BE HELD LIABLE FOR ANY SUCH INTERRUPTIONS OR DISTURBANCES.
- IT SHALL BE UNDERSTOOD THAT THE PRESENT TENANTS (OUTSIDE THE CONSTRUCTION LIMITS) SHALL REMAIN IN NORMAL OPERATION THROUGHOUT THE CONSTRUCTION AND RENOVATION PERIOD. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PLAN, COORDINATE AND INSTALL HIS WORK SO AS TO ASSURE THAT THE PRESENT HOSPITAL'S NORMAL OPERATIONS AND ITS MECHANICAL/ELECTRICAL SYSTEMS AND UTILITIES ARE NOT DISTURBED OR INTERRUPTED IN ANY WAY. THE CONTRACTOR SHALL BE HELD LIABLE FOR ANY SUCH INTERRUPTION OR DISTURBANCE.
- THE CONTRACTOR SHALL AT NO TIME DO ANY WORK OR PLACE ANY OBSTRUCTION THAT MAY AFFECT THE OPERATIONS OF THE OTHER TENANTS. INCLUDING ANY INTERRUPTIONS IN THE SUPPLY OF POWER OR OTHER UTILITIES, WITHOUT FIRST NOTIFYING AND OBTAINING PERMISSION FROM THE BUILDING OWNER TO PROCEED. THE CONTRACTOR SHALL SCHEDULE ANY WORK THAT MAY AFFECT THE OPERATIONS OF THE OTHER TENANTS TO OCCUR DURING THOSE HOURS WHEN THE EFFECT IS LEAST, INCLUDING EVENINGS AND WEEKENDS,

CONTRACTOR OBLIGATIONS

- 1. CONTRACTOR FOR THE PROJECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS PRIOR TO COMMENCING WORK.
- 2. THE CONTRACTOR SHALL INSURE THAT ALL WORK IS DONE IN A PROFESSIONAL WORK-MAN-LIKE MANNER BY SKILLED MECHANICS AND SHALL REPLACE ANY NEW AND/OR EXISTING MATERIALS OR ITEMS INDICATED TO REMAIN DAMAGED BY ANY CAUSE DURING CONSTRUCTION.
- 3. THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL, PRIOR TO THE SUBMISSION OF HIS BID OR PERFORMANCE OF WORK, NOTIFY THE OWNER OF ANY WORK CALLED OUT ON THE DRAWINGS OR IN THE SPECIFICATIONS IN HIS TRADE THAT CANNOT BE FULLY GUARANTEED OR WARRANTED FROM DEFECTIVE WORKMANSHIP OR MATERIAL DEFECTS.
- 4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF DETAILS ARE CONSIDERED UNSOUND, UNSAFE, NOT WATERPROOF, OR NOT WITHIN CUSTOMARY TRADE PRACTICE. IF WORK IS PERFORMED, IT WILL BE ASSUMED THAT THERE IS NO OBJECTIONS TO THE DETAIL. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN, MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS AND CURRENT TRADE PRACTICE AND SHALL BE INCLUDED AS PART OF THIS PROJECT.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FINISHES AT POINT OF CONNECTIONS FOR ALL WORK (ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL) FINISHES WILL MATCH THOSE SPECIFIED OR EXISTING IN LINE, TEXTURE AND FINISH. SPOT PAINTING IS NOT ACCEPTABLE. NEW FINISHES SHALL BE FROM CORNER TO CORNER, FLOOR TO CEILING, ETC.
- 6. UNLESS OTHERWISE NOTED, ALL MATERIALS SHALL BE NEW AND OF GOOD QUALITY. WHERE EXISTING MATERIALS ARE INDICATED TO BE SALVAGED, CONTRACTOR SHALL INVENTORY, CLEAN, BOX PROTECT, AND STORE ITEMS FOR REUSE ON THE PROJECT. ITEMS NOT REUSED SHALL BE RETURNED TO OWNER.
- 7. COORDINATION: THE GENERAL AND EACH SUB CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION AND COORDINATION WITH OTHER SUB CONTRACTORS TO ASSURE COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS, AND THE ACCURATE LOCATION OF ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL BUILDING ELEMENTS. THEIR REQUIRED OPENINGS CLEARANCES SUPPORT SYSTEMS ARE ALL INTERCONNECTED AND COORDINATED.
- 8. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND FOR BEING AWARE OF ALL CONDITIONS THAT AFFECT THEIR WORK.NOTIFY OWNER, IN WRITING, WITHIN 3 WORKING DAYS OF AWARD OF CONTRACT, OF THE PROPOSED DELIVERY SCHEDULE, OF ANY EQUIPMENT, FINISHES OR MATERIAL. FOR WHICH THAT SCHEDULE WILL PREVENT THE INSTALLATION FROM BEING COMPLETED AT THE TIME OF THE SCHEDULED PROJECT COMPLETION.
- 9. COORDINATION OF WORK:
- THE CONTRACTORS SHALL PROVIDE AND COORDINATE THE EXACT DIMENSIONS SIZES AND POSITIONS OF ALL SYSTEMS, EQUIPMENT, MOUNTING, AND ATTACHMENTS RELATING TO THE WORK.
- THE CONTRACTOR SHALL PROVIDE AND COORDINATE ALL DIMENSIONS SIZES AND POSITIONS OF OPENINGS IN SLABS AND WALLS NECESSARY TO THE INSTALLATION OF THE WORK.

 ALL EQUIPMENT, CONTROLS AND TERMINATIONS SHALL BE POSITIONS FOR SAFE. DIRECT AND EASY ACCESS.

- 10. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING SITE. THE CONTRACTOR SHALL REPORT TO THE ARCHITECT ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF ITS WORK. THE DRAWINGS SHALL NOT BE SCALED.
- 11. CONSTRUCTION SHALL COMPLY WITH APPLICABLE EDITION OF CALIFORNIA BUILDING CODE, ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE WORK. IN CASE OF CONFLICTS, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.

12. GENERAL CONTRACTOR TO ARRANGE INSPECTIONS AS NECESSARY.

- 13. ALL CONTRACTOR'S WORK SHALL BE OF THE QUALITY TO PASS INSPECTIONS BY LOCAL AND STATE AUTHORITIES, LENDING INSTITUTIONS, THE ARCHITECT AND HIS ENGINEERS, INSPECTOR OF RECORD, AND OWNER. ANY ONE OR ALL OF THE ABOVE MENTIONED INSPECTORS MAY INSPECT TRADE(S) AT ANY TIME, AND ANY CORRECTIONS NEEDED TO MEET THE REQUIRED QUALITY OF CONSTRUCTION SHALL BE DONE IMMEDIATELY AFTER NOTIFYING THE ARCHITECT AND THE OWNER FOR APPROVAL.
- 14. THE CONTRACTOR/SUB CONTRACTORS SHALL INSPECT THE SITE PRIOR TO START OF CONSTRUCTION AND NOTIFY OWNER AND THE ARCHITECT OF ANY EXISTING CONDITIONS THAT MAY AFFECT THE WORK INCLUDING ELEMENTS THAT MAY BE SUBJECT TO DAMAGE DURING DEMOLITION AND RENOVATION. THE CONTRACTOR SHALL FIELD VERIFY EXISTING DIMENSIONS, PRIOR TO START OF CONSTRUCTION AND NOTIFY OWNER AND ARCHITECT OF ANY DISCREPANCIES BETWEEN THE EXISTING DIMENSIONS AND THE DRAWING DIMENSIONS THAT MAY AFFECT THE WORK. THE CONTRACTOR SHALL OBTAIN DIRECTION FROM OWNER ON RESOLUTION OF THE DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND DIMENSIONS AND DRAWINGS PRIOR TO STARTING ANY WORK THAT MAY BE AFFECTED BY SUCH DISCREPANCIES.
- 15. CLEANUP: TYPICALLY EACH SUBCONTRACTOR IS HELD RESPONSIBLE FOR CLEANUP OF THE WORK OF HIS TRADE BY THE GENERAL CONTRACTOR. HOWEVER, THE GENERAL CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR CONTINUOUS CLEANUP AS THE JOB PROGRESSES, AND FINAL CLEANUP UPON SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP AND REMOVING FROM THE JOB SITE ALL TRASH AND DEBRIS, IMMEDIATELY UPON COMPLETION OF HIS DAILY WORK. CONTINUOUS CLEANUP SHALL KEEP THE JOB FREE AT ALL TIMES FROM UNREASONABLE BUILDUP OF DEBRIS, WRAPPERS, CONTAINERS, WASTE MATERIALS, ETC., WHICH MAY CAUSE ACCIDENTS, UNDUE HARDSHIP ON THE TRADESMAN, AND WORK PROGRESS. FINAL CLEANUP INCLUDES CLEANING OF ALL SURFACES TO A "LIKE NEW" CONDITION AND PREPARING THE BUILDING FOR ITS INTENDED USE.
- 16. THE CONTRACTOR SHALL AT ALL TIMES MAINTAIN THE SITE AND ADJACENT AREAS IN A CLEAN, NEAT, AND ORDERLY MANNER. THE CONTRACTOR SHALL BE RESPONSIBLE ONLY FOR DEBRIS THAT IS A RESULT OF THE WORK, INCLUDING ANY THAT MAY RESULT FROM THE WORKERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING HIS OWN REFUSE CONTAINERS AND SHALL AT NO TIME USE THE BUILDING REFUSE CONTAINERS.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED.
- 18. CONTRACTOR SHALL PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-10BC WITHIN 75 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILD OUT AREA DURING CONSTRUCTION.
- 19. OBTAIN CAL / OSHA CONSTRUCTION PERMITS PRIOR TO OBTAINING THE BUILDING PERMIT IF NECESSARY AND IN ACCORDANCE BY CCR TITLE 8, SECTION 341.
- 20. DEMARCATE AND NOTIFY THE REGIONAL NOTIFICATION CENTER (DIG ALERT, 811) AT LEAST TWO WORKING DAYS PRIOR TO MAKING ANY EXCAVATIONS.

GENERAL NOTES

REMOVAL OF ASBESTOS NOTES

ASBESTOS ABATEMENT IS NOT A SCOPE OF THESE IMPROVEMENT DOCUMENTS.

FIELD APPLICATION OF PEDESTRIAN PROTECTION

CONSTRUCTION ACTIVITIES INCLUDING ADDITIONS, ALTERATIONS, AND DEMOLITIONS SHALL PROVIDE PEDESTRIAN PROTECTION PURSUANT TO SECTION 3306 OF THE CALIFORNIA BUILDING CODE. TO DETERMINE THE TYPE OF PROTECTION REQUIRED FOR PEDESTRIANS, MEASURE THE ULTIMATE HEIGHT OF CONSTRUCTION WITH CONSIDERATION FOR BUILDING SETBACKS AND PROJECTIONS FROM THE BUILDING. FOR SLOPING SITES, MEASURE THE HEIGHT OF THE BUILDING FROM CONSTRUCTION EDGE OF THE WALKWAY AND THE SETBACK DISTANCE BETWEEN THE WALKWAY AND THE BUILDING LINE.

- BELOW ARE REQUIREMENTS TO BE ADDRESSED IN THE DESIGN OF PEDESTRIAN PROTECTIONS:
- WALKWAYS SHALL PROVIDE SUFFICIENT WIDTH WITH THE MINIMUM OF 4 FT. CLEAR.
- DIRECTIONAL BARRICADES SHELL BE PROVIDED AS NEEDED WHERE THE WALKWAY EXTENDS INTO THE STREET.
- 3. CONSTRUCTION RAILINGS SHALL BE AT LEAST 42 INCHES IN HEIGHT.
- BARRIERS SHALL BE A MINIMUM OF 8 FT. IN HEIGHT AND BE DESIGNED TO RESIST LOADS REQUIRED.
- SUCH PROTECTION SHALL BE MAINTAINED IN PLACE AND KEPT IN GOOD ORDER. UNTIL WORK IS COMPLETED.
- WHENEVER A WALKWAY MUST EXTEND INTO THE ROADWAY, A RAILING IS REQUIRED ON THE STREET SIDE.

PROTECTION OF WORK

- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE BARRICADES, PROTECTIVE COVERINGS, WARNING SIGNS, ETC., TO PREVENT ANY HARM TO WORKERS, EMPLOYEES AND/OR THE GENERAL PUBLIC. THE CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION BARRIERS TO SEPARATE CONSTRUCTION FROM THE GENERAL PUBLIC, TEMPORARY BARRIERS SHALL MEET THE SAME FIRE RATING AS WOULD THE PERMANENT PARTITION. WHERE A TEMPORARY PARTITION IS PLACED ACROSS A CORRIDOR OR IN ANY WAY BLOCKS AN EXIT OR CREATES A DEAD END, CONTRACTOR SHALL PROVIDE PLANS SHOWING THESE CONDITIONS AND SHALL OBTAIN APPROVAL BY ITHE O.S.H.P.D. AND/OR THE FIRE DEPARTMENT AUTHORITIES RESPONSIBLE ON THIS PROJECTS. WHERE A TEMPORARY PARTITION IS PLACED WITHIN A CORRIDOR AND STILL ALLOWS A PATH OF TRAVEL. THE TEMPORARY PARTITION SHALL BE MIN. 1 HR. CONSTRUCTION AND SHALL ENCLOSE EXTENT OF DEMOLISHED AREA. THE CONTRACTOR SHALL MAINTAIN A 6'-0" MINIMUM CLEAR WIDTH WITHIN THE CORRIDOR. THE USE OF VISQUEEN OR SIMILAR TYPE OF MATERIAL AS A TEMPORARY BARRIER WHERE A FIRE SEPARATION IS REQUIRED SHALL NOT BE PERMITTED.
- 2. PROTECTION OF EXISTING FINISHES: DURING CONSTRUCTION CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION AND FINISHES (NOT SCHEDULED FOR DEMOLITION). CONTRACTOR SHALL PROVIDE PROTECTIVE COVERING FOR FLOOR, WALL AND CEILING SURFACES IN CORRIDORS AND AREAS ADJACENT TO THE CONSTRUCTION AREA. WHERE DAMAGE OCCURS. REPAIR OR REPLACE LIKE NEW TO THE OWNER'S APPROVAL AT NO ADDITIONAL COST.

CUTTING AND PATCHING

- THE CONTRACTOR SHALL IN THE WORK OF ALL TRADES, PERFORM ALL CUTTING, PATCHING, REPAIRING, RESTORING AND THE LIKE NECESSARY TO COMPLETE THE WORK AND TO RESTORE ANY DAMAGED OR AFFECTED SURFACES RESULTING FROM THE WORK OF THIS CONTRACT TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNERS AND THE ARCHITECT.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING, PATCHING, AND FIRE SAFING METHODS REQUIRED TO COMPLETE THE WORK INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- A. UNCOVERED PORTIONS OF THE WORK USED TO PROVIDE FOR INSTALLATION OF UNSCHEDULED WORK.
- B. REMOVE AND REPLACE DEFECTIVE WORK.
- C. REMOVE AND REPLACE WORK NOT CONFORMING TO REQUIREMENTS OF CONTRACT DOCUMENTS.
- D. PROVIDE ROUTINE PENETRATIONS OF NON-STRUCTURAL SURFACES FOR INSTALLATION OF PIPING AND ELECTRICAL CONDUIT.
- E. REMOVE EXISTING WORK INDICATED IN THE DOCUMENTS AND AS MAY BE REQUIRED TO PERMIT THE PROPER INSTALLATION OF NEW WORK THAT FORMS PART OF HIS CONTRACT. ALL CUTTING, REPAIRING AND/OR PATCHING NECESSARY IN CONNECTION WITH SUCH REMOVALS SHALL BE DONE WITHOUT EXTRA CHARGE. WHETHER OR NOT EVERY ITEM MAY BE SPECIFICALLY DESCRIBED.
- PROCEDURES FOR NON-STRUCTURAL CUTTING AND PATCHING:
- A. PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE THE STRUCTURAL VALUE INTEGRITY OF THE AFFECTED PORTION OF THE WORK.
- B. PROVIDE DEVICES AND METHODS TO PROTECT OTHER PORTIONS OF THE PROJECT FROM DAMAGE.
- C. PROVIDE PROTECTION FROM THE ELEMENTS FOR THAT PORTION OF THE PROJECT WHICH MAY BE EXPOSED BY CUTTING AND PATCHING WORK. D. EXECUTE CUTTING BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER WORK,
- AND WILL PROVIDE PROPER SURFACES TO RECEIVE INSTALLATION OR REPAIRS. E. EXECUTE FITTING AND ADJUSTMENT OF PRODUCTS TO PROVIDE A FINISHED
- INSTALLATION TO COMPLY WITH SPECIFIED PRODUCTS. FUNCTIONS. TOLERANCES AND FINISHES, AND MANUFACTURER'S CRITERIA. F. RESTORE WORK WHICH HAS BEEN CUT OR REMOVED. INSTALL NEW PRODUCTS TO
- PROVIDE COMPLETE WORK IN ACCORDANCE WITH REQUIREMENTS OF CONTRACT DOCUMENTS.
- G. REFINISH ENTIRE SURFACE AS NECESSARY TO PROVIDE AN EVEN FINISH TO MATCH ADJACENT FINISHES.
- WHERE NEW WORK TIES INTO EXISTING CONTRACTOR SHALL PATCH AND REPAIR EXISTING CONSTRUCTION AS REQUIRED TO RESTORE IT TO ITS ORIGINAL FINISH. TIE THE NEW WORK INTO EXISTING IN A NEAT AND CRAFTSMAN LIKE MANNER SO THAT NEW BLENDS WITH A SMOOTH AND LEVEL SURFACE INTO ADJACENT WORK.

- GENERAL DEMOLITION NOTES:
- INTEGRITY OF EXISTING CONCRETE FLOOR (ABOVE AND BELOW) SHALL REMAIN INTACT.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ESPECIALLY PIPES, DUCTS, AND CONDUIT.
- ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH CHAPTER 33 OF THE CALIFORNIA BUILDING CODE, 2013 EDITION.
- STARTING ANY WORK.
- DEMOLITION WORK IS BEING DONE.
- DRAWING.

- BY THE OWNER/ARCHITECT TO BE SCRAP.

CONTRACTOR SHALL PROVIDE A "DISCOVERY PROCESS" TO IDENTIFY POTENTIAL COMPLICATIONS WITHIN THE SCOPE OF WORK, PRIOR TO ANY DEMOLITION.

ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA FIRE CODE, 2013 EDITION, SECTION 103.3.3 (INCLUDING ARTICLE 87).

6. THE CONTRACTOR SHALL FIELD SURVEY / AND VERIFY EXISTING CONDITIONS PRIOR TO

. DURING THE DEMOLITION, THE CONTRACTOR SHOULD ALWAYS BE AWARE OF THE INTENDED FINAL RENOVATION CONDITIONS OF THE STRUCTURE AND THE REASON THE

3. THE CONTRACTOR MUST ALLOW FOR ADDITIONAL DEMOLITION THAT MAY NOT BE SHOWN, BUT IS REQUIRED TO ACHIEVE THE FINISHED RESULT, AS SHOWN ON THE

9. DO NOT DISTURB OR DAMAGE IN ANY WAY EXISTING STRUCTURAL ELEMENTS. THE BUILDING HAS TO COMPLY WITH ALL SAFETY REGULATIONS AT ALL TIMES.

10. THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION ANY EXISTING WORK DAMAGED DURING DEMOLITION BUT INDICATED TO REMAIN.

1. ALL REMOVED MATERIALS AND EQUIPMENT WHICH IN THE OPINION OF THE OWNER/ARCHITECT ARE SALVAGEABLE, SHALL REMAIN THE PROPERTY OF THE OWNER. DELIVER SUCH SALVAGED MATERIALS AND EQUIPMENT ON PREMISES AS DIRECTED, NEATLY PILE OR STORE THEM AND PROTECT FROM DAMAGE. DO NOT REUSE MATERIALS AND EQUIPMENT UNLESS SPECIFICALLY INDICATED ON PLANS OR SPECIFIED. REMOVE FROM PREMISES AND DISPOSE OF ALL MATERIALS CONSIDERED EARTHWORK AND GRADING NOTES:

- ALL EXCAVATIONS AND SHORING SYSTEMS SHALL MEET THE MINIMUM REQUIREMENTS OF THE STATE OF CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH STANDARDS.
- CONTRACTOR SHALL EVALUATE THE MOISTURE CONTENT OF THE ON-SITE SOILS WHEN PLANNING THE EARTHWORK.
- AFTER REMOVALS ARE COMPLETE AND PRIOR TO PLACING ANY FILLS OR NEW CONCRETE, THE SUBGRADE SOILS SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES, MOISTURE-CONDITIONED, AND COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY, DETERMINED IN ACCORDANCE WITH ASTM D 1557. USE ONLY HAND-OPERATING MACHINES IN COMPACTION, OPERATIONS BEHIND RETAINING WALLS.
- IMPORTED FILL MATERIAL SHALL BE PREDOMINATELY GRANULAR, NON-EXPANSIVE (E.I. LESS THAN AND CONTAIN NO LESS THAN 10 PERCENT FINES AND NO MORE THAN 40 PERCENT FINE\$ (PORTION PASSING NO. 200 SIEVE).
- EACH PROPOSED IMPORT SOURCE SHALL BE SAMPLED, TESTED AND ACCEPTED FOR USE PRIOR TO DELIVERY OF THE SOILS TO THE SITE.
- FOR EARTHWORK VOLUME ESTIMATING PURPOSES, AN AVERAGSHRINKAGE VALUE OF 10 PERCENT AND SUBSIDENCE OF 0.1 FEET MAY BE ASSUMED FOR THE SURFICIAL SOILS.
- 7. JETTING OR FLOODING OF BACKFILL MATERIALS SHALL NOT BE PERMITTED.
- IN BACKFILL AREAS WHERE MECHANICAL COMPACTION OF SOIL BACKFILL IS IMPRACTICAL DUE TO SPACE CONSTRAINTS. SAND-CEMENT SLURRY MAY BE SUBSTITUTED FOR COMPACTED BACKFILL THE SLURRY SHALL CONTAIN ONE SACK OF CEMENT PER CUBIC YARD AND HAVE A MAXIMUM SLUMP OF 5 INCHES.
- NEATLY SAWCUT AND REMOVE CONCRETE AND BASE MATERIAL AS REQUIRED.
- 10. WHERE CONCRETE TO BE INSTALLED IN DEPRESSIONS INDICATED IN DEMOLITION, CLEAN OUT ALL LOOSE MATERIAL PRIOR TO INSTALLATIONS.
- 11. PROVIDE ADDITIONAL BASE MATERIAL AS REQUIRED WHERE CONCRETE IS REPLACED.
- 12. WHERE NEW BASE MATERIAL IS PROVIDED, COMPACT TO 90% PRIOR TO INSTALLATIONS OF CONCRETE.

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GENERAL ELECTRICAL DEMOLITION NOTES:

- IT IS UNDERSTOOD AND AGREED THAT THIS CONTRACT DOES NOT CONTEMPLATE THE HANDLING OF ASBESTOS, PCB OR ANY HAZARDOUS WASTE MATERIAL, IF ASBESTOS, PCB OR ANY HAZARDOUS WASTE MATERIAL IS ENCOUNTERED, NOTIFY THE ARCHITECT IMMEDIATELY. DO NOT DISTURB, HANDLE OR ATTEMPT TO REMOVE.
- SUBMIT PROPOSED OUTAGE SCHEDULE. PROVIDE A SEQUENCE OF DEMOLITION TO INSURE THE UNINTERRUPTED USE OF OCCUPIED PORTIONS OF THE FACILITY WHICH ARE TO REMAIN OPERATIONAL DURING THE CONTRACT PERIOD.
- SYSTEM OUTAGES SHALL BE PERMITTED ONLY AT TIMES APPROVED BY OWNER, IN WRITING. WORK WHICH COULD RESULT IN AN ACCIDENTAL OUTAGE (BEYOND BRANCH CIRCUITS) SHALL BE PERFORMED WITH THE OWNER'S MAINTENANCE PERSONNEL ADVISED OF SUCH WORK.
- PRIOR TO DEMOLITION OF ANY CONDUIT, CIRCUIT, EQUIPMENT, ETC., IDENTIFY IN THE FIELD THE LOAD SERVED TO VERIFY THAT REMOVAL WILL NOT INTERFERE WITH EXISTING OPERATIONS. WHERE IT IS DETERMINED THAT AN IMPACT WILL OCCUR, NOTIFY THE FACILITY ENGINEER.
- EXISTING ELECTRICAL OUTLETS LOCATED ON PARTITIONS TO BE DEMOLISHED ARE TO BE REMOVED. INCLUDING ALL CONDUIT AND WIRING BACK TO THEIR RESPECTIVE ELECTRICAL PANELS. PATCH AND REPAIR (AS REQUIRED) IN FIRE-RATED ASSEMBLIES ONLY.
- REMOVE ALL CABLE IN CEILING BACK TO SOURCE OF DATA COMMUNICATION CLOSETS, AS REQUIRED.
- ALL CONDUIT AND CONDUCTORS THAT ARE REMOVED UNDER DEMOLITION WORK SHALL NOT BE REUSED.
- ALL ELECTRICAL OUTAGES TO OTHER EXISTING SPACES OR EQUIPMENT NECESSARY TO COMPLETE THE WORK UNDER THIS PROJECT SHALL BE SCHEDULED IN WRITING (IN ADVANCE) WITH THE OWNER'S REPRESENTATIVE.

ELECTRICAL DEMOLITION NOTES:

THE SCOPE OF DEMOLITION ELECTRICAL WORK SHALL INCLUDE, BUT IS NOTLIMITED TO THE FOLLOWING:

- PERFORM CUTTING AND PATCHING OF THE CONSTRUCTION WORK WHICH MAY BE REQUIRED FOR THE PROPER DEMOLITION OF THE ELECTRICAL WORK. PATCHING SHALL BE OF THE SAME MATERIAL, THICKNESS, WORKMANSHIP AND FINISH AS EXISTING AND ACCURATELY MATCH SURROUNDING WORK TO THE SATISFACTION OF THE ARCHITECT. CUTTING OF STRUCTURAL MEMBERS SHALL NOT BE DONE WITHOUT FIRST OBTAINING APPROVAL FROM THE ARCHITECT AND/OR STRUCTURAL ENGINEER OF RECORD.
- PATCHING OF OPENINGS IN RATED PARTITIONS, BARRIERS, FLOORS, CEILINGS, ETC. SHALL BE EXECUTED USING UL AND NFPA FIRE STOP MATERIAL EQUAL TO THE FIRE RATINGS OF THE PENETRATED SURFACE.
- WHERE MATERIALS AND EQUIPMENT HAVE BEEN REMOVED AND NOT REPLACED THE EXPOSED SURFACE SHALL BE PAINTED TO MATCH SURROUNDING SURFACE COLOR.
- AS INDICATED, DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURES, LIGHTING CONTROL DEVICES, HARDWARE, SUPPORT DEVICES AND ASSOCIATED RACEWAYS, CONDUCTORS AND OUTLET BOXES. WHERE OUTLET BOXES ARE FLUSH AND CONDUITS ARE CONCEALED IN EXISTING REMAINING WALLS, REMOVE WIRING, AND ABANDON CONDUIT IN PLACE.
- AS INDICATED, DISCONNECT AND REMOVE EXISTING ELECTRICAL EQUIPMENT, DISCONNECT SWITCHES, RECEPTACLES, MOUNTING HARDWARE AND ASSOCIATED RACEWAYS, CONDUCTORS AND OUTLET BOXES. WHERE OUTLET BOXES ARE FLUSH AND CONDUITS ARE CONCEALED IN EXISTING REMAINING WALLS, REMOVE WIRING AND ABANDON CONDUIT IN PLACE.
- EXCEPT AS NOTED OTHERWISE DISCONNECT AND REMOVE EXISTING FIRE ALARM SYSTEM, DEVICES, MOUNTING HARDWARE AND ASSOCIATED RACEWAYS, CONDUCTORS AND OUTLET BOXES. WHERE OUTLET BOXES ARE FLUSH AND CONDUITS ARE CONCEALED IN EXISTING REMAINING WALLS, REMOVE WIRING AND CONDUITS COMPLETE.
- EXCEPT AS NOTED OTHERWISE DISCONNECT AND REMOVE EXISTING TELEPHONE, AUDIO VISUAL SYSTEM EQUIPMENT, OUTLETS, BACKBOARDS AND ASSOCIATED RACEWAYS, CABLING AND OUTLET BOXES. WHERE OUTLET BOXES ARE FLUSH AND CONDUITS ARE CONCEALED IN EXISTING REMAINING WALLS, REMOVE CABLING AND CONDUIT. MAIN TELEPHONE SERVICE BACKBOARD AND EQUIPMENT TO REMAIN UNLESS OTHERWISE NOTED.
- EXCEPT AS NOTED OTHERWISE DISCONNECT AND REMOVE EXISTING DATA SYSTEM EQUIPMENT. OUTLETS. BACKBOARDS AND ASSOCIATED RACEWAYS. CABLING AND OUTLET BOXES.
- WHERE OUTLET BOXES ARE FLUSH AND CONDUITS ARE CONCEALED IN EXISTING REMAINING WALLS, REMOVE CABLING AND ABANDON CONDUIT IN PLACE.
- EXCEPT AS NOTED OTHERWISE REMOVE EXISTING TIME SWITCHES CONTACTORS. RELAYS AND ASSOCIATED CONDUITS AND CONDUCTORS CONTROLLING LIGHTING COMPLETE.
- THE CONTRACTOR SHALL FIELD VERIFY EXISTING EQUIPMENT, DEVICES, AND/OR CIRCUITS THAT ARE REMAINING. CIRCUITS SHALL BE RECONNECTED TO NEW OR EXISTING POWER DISTRIBUTION EQUIPMENT AND FUNCTION IN THE MANNER THEY WERE ORIGINALLY DESIGNED. PROVIDE ADDITIONAL EQUIPMENT, DEVICES, OUTLET BOXES, CONDUIT, WIRING, ETC. AS REQUIRED TO RESTORE CONTINUITY TO THESE CIRCUITS.
- WHERE FIXTURES, EQUIPMENT, DEVICES, ETC. ARE SPECIFIED BY THE CONTRACT DOCUMENTS FOR REMOVAL. THE CONTRACTOR SHALL REMOVE ALL CIRCUIT CONDUCTORS/CABLING BACK TO THE NEAREST REMAINING JUNCTION BOX AND/OR POINT OF TERMINATION OR POWER SOURCE.
- WHERE IT IS NOT FEASIBLE TO REMOVE UNUSED FLUSH MOUNTED OUTLET BOXES AND CONCEALED RACEWAYS IN EXISTING. REMAINING WALLS AND/OR CEILINGS REMOVE ALL WIRING AND PROVIDE BLANK COVER PLATES OVER OUTLET BOXES.
- ALL CONDUITS RISING FROM BELOW GRADE TO AREAS WHERE PARTITIONS, WALLS, AND/OR OTHER CONSTRUCTION ENTITIES ARE INDICATED AS BEING REMOVED SHALL BE CUT TO BELOW FINISH FLOOR. CAPPED AND ABANDONED. PROVIDE PATCHING AS REQUIRED. SEAL IN A MANNER ACCEPTABLE TO THE ARCHITECT.
- COVER UNUSED AND/OR ABANDONED OUTLETS WITH BLANK COVER PLATES.
- SEAL ALL ABANDONED FLOOR PENETRATIONS IN A MANNER ACCEPTABLE TO THE ARCHITECT/OWNER.
- DISCONNECT ABANDONED CIRCUITS AT EXISTING PANELBOARDS AND REMOVE WIRE TO LAST REMAINING DEVICE. LABEL ALL ABANDONED CIRCUIT BREAKERS "SPARE".
- REFER TO THE MECHANICAL/PLUMBING DRAWINGS AND SPECIFICATIONS FOR EQUIPMENT TO BE REMOVED. DISCONNECT AND REMOVE EXISTING SAFETY/DISCONNECT SWITCHES, CONDUIT, CONDUCTORS, OUTLET BOXES, CONTROL DEVICES, RELAYS, ELECTRICAL MOUNTING HARDWARE, ETC, FOR THE PROPER DEMOLITION OF THE EQUIPMENT INDICATED FOR REMOVAL.
- DISCONNECT AND REMOVE ELECTRICAL DEVICE IN POKE THRU TO INCLUDE ALL WIRING BACK TO SOURCE. PROVIDE A BLANK COVER PLATE AND ABANDON ALL CONDUIT IN PLACE.
- DISCONNECT AND REMOVE ELECTRICAL DEVICES TO INCLUDE WIRING AND CONDUIT BACK TO SOURCE IN IMPROVEMENT AREAS.

1 DISCONNECT AND DEMOVE EVICTING DECEDITACIE DEVICE AND ALL ASSOCIATED

GENERAL MECHANICAL DEMOLITION NOTES

- 1. BEFORE STARTING DEMOLITION, PROVIDE NECESSARY PROTECTIVE DEVICES WHERE REQUIRED AND IN STRICT ACCORDANCE WITH CAL. BUILDING CODE REGULATIONS.
- 2. ALL EQUIPMENT THAT IS REMOVED AND NOT REUSED SHALL BE RETURNED TO THE OWNER.
- 3. TAKE NECESSARY PRECAUTIONS TO PREVENT DUST AND DIRT MIGRATING TO OCCUPIED AREAS OF THE BUILDING. THIS INCLUDES PROVIDING CONSTRUCTION FILTERS AT OPEN/RESTRICTED SUPPLY OR EXHAUST AIR GRILLES/DUCTS IN THE AREA.
- 4. REMOVE AIR TERMINALS, MECHANICAL EQUIPMENT, AND DUCTWORK THAT SOLELY SERVICES THE IMPROVEMENT AREA.
- 5. REMOVE THERMOSTATS, CONTROL WIRE, CONDUIT, SUPPLY/RETURN PIPING, ETC. THAT ARE NO LONGER NEEDED WITHIN THE DEMO AREA.
- 6. PROVIDE TEMPORARY CONTROL AND/OR PIPING IF REQUIRED TO MAINTAIN THE SYSTEM FUNCTION OUTSIDE THE DEMO AREA.
- 7. DEMOLISH CONDENSATE DRAINS, DRAIN PANS AND OVERFLOW DRAINS IN AREA OF IMPROVEMENTS. INSTALL NEW COPPER CONDENSATE DRAIN AND P-TRAP AND CONNECT TO EXISTING.
- 8. DEMOLISH WIRING BACK TO FUSED DISCONNECT. REPLACE EXISTING FUSED DISCONNECT. INSTALL NEW WIRE AND CONDUIT TO UNIT.
- 9. REPAIR ANY DAMAGE TO FIREPROOFING DUE TO INSTALLATION OF THIS WORK.

GENERAL PLUMBING DEMOLITION NOTES:

- 1. REMOVE & EXPOSE OF ALL PLUMBING FIXTURES, TRIM, PIPING BRACKETS, AND HANGERS IN THEIR ENTIRETY AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. WASTE PIPING SHALL BE REMOVED TO POINT OF PENETRATION OF THE FLOOR SLAB - PROVIDE A CLOSURE AND SEAL THE PIPE AT THAT POINT. ALL WASTE/SOIL PIPES SHALL BE CAPPED GAS TIGHT.
- 2. REMOVE EXISTING INTERIOR WATER PIPING AND APPURTENANCES COMPLETE. CUT AND CAP INSIDE WALL AND/OR ENTRY INTO DEMO / REMODEL SPACE.
- 3. REMOVE VENT PIPING COMPLETELY. CLOSE AND SEAL BELOW CEILING SLAB, UNLESS NEEDED TO MAINTAIN PROPER VENTING FROM BASEMENT SEWAGE PIPING.
- 4. THE INTENT OF THE DEMOLITION ON THIS PROJECT IS THE REMOVAL OF ALL PLUMBING SYSTEMS WITHIN THE LOCATION AND SUPPORT OF THE IMPROVEMENT AREA AND WHERE NOTED.
- 5. THE PLUMBING CONTRACTOR SHALL REFER TO ALL SECTIONS AND DRAWINGS OF THE CONTRACT DOCUMENTS FOR DEMOLITION OF PLUMBING SYSTEM COMPONENTS INCLUDED IN THE PLUMBING CONTRACT. NOTIFY THE ARCHITECT OF ALL DISCREPANCIES OR QUESTIONS PERTAINING TO EXTENT OF WORK PRIOR TO BIDDING.
- 6. VERIFY EXTENT OF PIPING. EQUIPMENT. COMPONENTS AND CONTROLS TO BE RETAINED OR REUSED PRIOR TO THE DEMOLITION OF SPECIFIC SYSTEM. PROTECT ITEMS WHICH ARE TO BE REUSED ON SITE TO MINIMIZE POST CONSTRUCTION REPAIRS. ANY ITEMS WHICH ARE DAMAGED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE CONTRACT.

GENERAL NOTES

- GENERAL ELECTRICAL NOTES ELECTRICAL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE NECA INSTALLATION STANDARDS TO THE SATISFACTION OF THE ARCHITECT AND ENGINEER.
- RACEWAY SYSTEMS ARE SHOWN DIAGRAMMATICALLY. ACTUAL LOCATION AND ROUTING OF ALL, SHALL BE DETERMINED BY CONTRACTOR TO SUIT FIELD CONDITIONS.
- CONTRACTOR SHALL PROVIDE ALL RACEWAY SYSTEMS INDICATED ON THE DRAWING PER NEC REQUIREMENTS AND GENERAL NOTES. ANY DEVIATION FROM THE WIRING METHODS INDICATED SHALL BE ALLOWED ONLY BY SPECIFIC WRITTEN APPROVAL FROM EITHER THE ARCHITECT, ENGINEER OR OWNER. CONTRACTOR'S BID SHALL INCLUDE ALL COSTS FOR RACEWAY SYSTEMS AS SPECIFIED UNLESS SPECIFIC WRITTEN APPROVAL FOR AN ALTERNATIVE WIRING METHOD IS OBTAINED FROM EITHER THE ARCHITECT, ENGINEER OR OWNER AND IS SUBMITTED AS PART OF CONTRACTOR'S FORMAL BID PROPOSAL.
- PROVIDE APPROVED EXPANSION FITTINGS WHERE RACEWAYS CROSS BUILDING EXPANSION JOINTS. PROVIDE BONDING JUMPER(S) SIZED PER CODE WHERE REQUIRED. PROVIDE ALL FITTINGS REQUIRED FOR A COMPLETE INSTALLATION. REFER TO ARCHITECTURAL DRAWINGS FOR EXPANSION JOINT LOCATION(S).
- CONTRACTOR SHALL PROVIDE PULL CORDS IN ALL EMPTY CONDUITS. WHERE MORE THAN ONE CONDUIT TERMINATES IN A JUNCTION BOX, THE CONTRACTOR SHALL IDENTIFY EACH CONDUIT AND JUNCTION BOX IN A MANNER ALLOWING IDENTIFICATION AFTER ALL WALL FINISHES HAVE BEEN APPLIED.
- VERIFY DEVICE COLOR AND MOUNTING ORIENTATION (VERTICAL OR HORIZONTAL) WITH ARCHITECTURAL AND INTERIOR DESIGN DRAWINGS PRIOR TO ORDERING ANY EQUIPMENT AND PROVIDE DEVICES AS REQUIRED. UNLESS NOTED OTHERWISE, DEVICES AND DEVICE PLATES SHALL BE WHITE IN COLOR.
- 7. ALL PENETRATIONS OF FIRE RESISTIVE FLOORS OR WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DIAGRAMS THAT CONFORM TO UL LISTING FOR "THROUGH-PENETRATION FIRE STOP SYSTEMS".
- CONTRACTOR SHALL ENGAGE THE SERVICES FOR A STATE LICENSED FIRE ALARM MANUFACTURER/INSTALLER TO PREPARE ALL DESIGN DRAWINGS AND CALCULATIONS REQUIRED FOR SYSTEM APPROVAL BY THE AUTHORITY HAVING JURISDICTION. SUBMIT ALL PLANS AND PROVIDE ALL PERMITS REQUIRED FOR A COMPLETE AND OPERABLE APPROVED LIFE SAFETY SYSTEM.
- UPON COMPLETION OF THE INSTALLATION OF LIFE SAFETY SYSTEM WIRING AND DEVICES, A PERFORMANCE TEST OF THE ENTIRE LIFE SAFETY SHALL BE PERFORMED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.
- 10. ALL EQUIPMENT ELECTRICAL TERMINATIONS TO UNDERGO A TORQUE TEST. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR MANUFACTURER'S RECOMMENDED TORQUE DOCUMENTATION AND TOOLS TO PERFORM TORQUE TEST.
- 11. COORDINATE ELECTRICAL REQUIREMENTS FOR ALL PLUMBING AND MECHANICAL EQUIPMENT WITH FINAL CONTRACTOR SELECTION, THE CONTRACTOR SHALL SIZE DISCONNECTS BASED UPON CIRCUIT BREAKER RATINGS AND PROVIDE FUSING AS REQUIRED PER EQUIPMENT MANUFACTURER RECOMMENDATIONS AND U.L. LISTING REQUIREMENTS.
- 12. ALL ELECTRICAL SYSTEMS SHALL BE TESTED FOR PROPER OPERATION. IF TESTS SHOW THAT WORK IS DEFECTIVE, CONTRACTOR SHALL MAKE ALL NECESSARY CORRECTIONS AT NO ADDITIONAL COST TO OWNER.

- **GENERAL MECHANICAL NOTES**
- CONTROLS.

- EXISTING SURROUNDING MATERIALS AND COLORS.
- ARCHITECTURAL PLANS OR AS DIRECTED BY THE ARCHITECT.
- 8. KEEP ACCESS TO MECHANICAL UNITS CLEAR.
- SYSTEM COMPONENT, OR EACH OTHER.

- RECOMMENDATIONS.

- TO OCCUPANCY.
- 22. CONTROL WIRING NOTES A. PRIME CONTRACTOR IS RESPONSIBLE FOR: POWER WIRING AND CONDUIT.

1. FITTINGS SHALL UTILIZE RADIUS ELBOWS. RECTANGULAR BRANCH TAKEOFFS SHALL HAVE 45 DEGREE ENTRY. ROUND BRANCH TAKEOFFS SHALL USE CONICAL SPIN-INS.

2. MARK CEILING T-BAR WITH COLORED DOTS AT LOCATIONS OF HEAT PUMPS, DAMPERS &

3. CONDUCTORS SHALL BE INSTALLED TO MATCH EXISTING CONDITIONS.

4. FITTINGS SHALL UTILIZE RADIUS ELBOWS. RECTANGULAR BRANCH TAKEOFFS SHALL HAVE 45 DEGREE ENTRY. ROUND BRANCH TAKEOFFS SHALL USE CONICAL SPIN-INS.

5. ALL NEW CONDUIT SHALL BE EMT W/ FITTINGS TO MATCH EXISTING CONDITIONS.

6. COORDINATE LOCATIONS OF SENSORS, THERMOSTATS AND OTHER DEVICES WITH ENGINEER AND OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. TEMPERATURE SENSORS MOUNTED ON EXTERIOR WALLS SHALL HAVE INSULATED BACKS. AVOID LOCATIONS NEAR EXTERIOR DOORS OR IN DIRECT SUNLIGHT. MOUNTING HEIGHT PER ADA. IN FINISHED AREA'S WHERE DEVICES ARE REMOVED. PATCH AND FINISH TO MATCH

7. COORDINATE THE CEILING TYPES AND DO NOT INSTALL WORK THAT REQUIRES ACCESS (JUNCTION BOXES, VALVES, DEVICES, ETC.) ABOVE INACCESSIBLE CEILINGS. IF IT IS NECESSARY TO INSTALL SUCH WORK ABOVE AN INACCESSIBLE CEILING, PROVIDE ACCESS PANELS AS REQUIRED TO PERMIT ACCESS. COORDINATE ACCESS PANEL LOCATIONS WITH THE ASSOCIATED EQUIPMENT LOCATIONS. SHOW ACCESS PANELS ON SHOP DRAWINGS. INSTALL ACCESS PANELS IN WALLS OR CEILINGS AS SHOWN ON

9. PROVIDE 1" DIAMETER COLORED STICKER ON CEILINGS TO INDICATE LOCATIONS OF CONTROLLERS, FIRE DAMPERS, BALANCING DAMPERS AND FAN COILS ABOVE CEILINGS. SHOP DRAWINGS SHALL INCLUDE A LEGEND FOR COLOR CODE.

10.PROVIDE SUPPORT STEEL, HANGERS, VIBRATION ISOLATION, AND ACCESSORIES REQUIRED TO INSTALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. DO NOT SUPPORT CEILINGS, LIGHTING FIXTURES, OR ANY OTHER DEVICES FROM DUCTWORK, PIPES, OR ELECTRICAL CONDUIT. UNLESS OTHERWISE NOTED. DO NOT ALLOW DUCTWORK. PIPES. OR CONDUIT TO DIRECTLY CONTACT THE BUILDING STRUCTURE, CEILING SYSTEM, LIGHT FIXTURES, ANY OTHER BUILDING

11. VERIFY THAT EQUIPMENT AND MATERIAL TO BE INSTALLED IN THE RETURN AIR PATH IS RATED FOR USE IN THE RETURN AIR PATH AND MEETS REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS. SUPPLY AND RETURN AIR PLENUMS SHALL BE OF NON-COMBUSTIBLE CONSTRUCTION, SEALED AIRTIGHT, AND CONFORM TO ALL APPLICABLE CODE REQUIREMENTS. MATERIALS SHALL HAVE A MOLD, HUMIDITY, AND EROSION RESISTANT FACE THAT MEETS THE REQUIREMENTS OF UL181. COMBUSTIBLE MATERIALS EXPOSED WITHIN THE PLENUM MUST HAVE. FLAME-SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED RATING OF NOT MORE THAN 50.

12.PROVIDE CODE APPROVED FIRE STOPPING AT PENETRATIONS THROUGH BUILDING CONSTRUCTION TO ACHIEVE FIRE, SMOKE, AND SOUND RATINGS AS REQUIRED.

13.INSTALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURERS

14.PROVIDE EQUIPMENT SUITABLE FOR THE INTENDED PURPOSE.

15.ALL WIRING DIAGRAMS ARE SHOWN FOR CONTROL SEQUENCE AND FUNCTION ONLY. IT REMAINS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO INSURE THAT THE ELECTRICAL PORTION OF THIS WORK IS INSTALLED PER CODE.

16.PERFORM SYSTEM COMMISSIONING, CLEANING, SERVICING, BALANCING, TESTING, AND CERTIFICATION REQUIRED BY THE DOCUMENTS, CODE, LOCAL AUTHORITY HAVING JURISDICTION, AND AS RECOMMENDED BY THE EQUIPMENT MANUFACTURERS, PRIOR

17. UPON COMPLETION OF TESTING. OPERATE EQUIPMENT TO VERIFY THAT ALL SYSTEMS FUNCTION PROPERLY. AFTER VERIFYING THE PROPER OPERATION. DEMONSTRATE THE OPERATION OF SYSTEMS AND EQUIPMENT TO THE OWNERS REPRESENTATIVES. PROVIDE 48 HOURS NOTICE AND SCHEDULE THE DEMONSTRATION WITH THE OWNER.

CONTROL WIRING AND CONDUIT

B. PROVIDE POWER AS REQUIRED FOR CONTROL DEVICES

GENERAL PLUMBING NOTES:

- IF EQUIPMENT, FIXTURES, AND MATERIAL, IS NOT SPECIFIED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND PROVIDE REVISED UTILITIES AND SERVICE CONNECTIONS THAT MATCH EXISTING CONDITIONS AS REQUIRED TO COMPLETE THE WORK. THIS INCLUDES BUT IS NOT LIMITED TO REVISED POWER, WATER, CONTROLS, HYDRONICS, WASTE DRAINS, FUEL FLUES AND VENT REQUIREMENTS.
- IF EQUIPMENT, FIXTURES, AND MATERIAL, OTHER THAN THAT SCHEDULED OR SPECIFIED, IS APPROVED AND PROVIDED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND PROVIDE REVISED UTILITIES AND SERVICE CONNECTIONS AND VERIFY THE SPACE ALOTTED FOR ADEQUECY AND CLEARANCE REQUIREMENTS. THIS INCLUDES BUT IS NOT LIMITED TO REVISED POWER, WATER, CONTROLS, HYDRONICS, WASTE DRAINS, FUEL FLUES AND VENT REQUIREMENTS.
- INSTALL SHUT OFF VALVES AT EACH FIXTURE. INSTALL BRANCH SHUTOFF VALVES WHERE INDICATED ON PLANS. LOCATE AND ORIENT VALVE OPERATORS FOR EASE OF ACCESS AND FULL LIMITS OF OPERATION.
- INSULATION AND VAPOR BARRIER SHALL BE PROVIDED ON ALL PIPING AND/OR EQUIPMENT SUBJECT TO HEAT LOSS, CONDENSATION, OR CONSTITUTING A POTENTIAL BURN HAZARD.
- INSULATION SHALL NOT BE CRUSHED OR COMPRESSED THROUGH INTERFERENCE WITH SYSTEMS INSTALLED BY OTHER TRADES OR BUILDING CONSTRUCTION.
- INSTALL PLUMBING AND PIPING HIGH POINTS AS TIGHT AS POSSIBLE TO THE BUILDING STRUCTURE TO ALLOW PROPER PITCH AND MAXIMIZE CEILING HEIGHT.
- PROVIDE AIR VENTS AT PIPING HIGH POINTS AND DRAINS AT LOW POINTS IN MAINS.
- 8. THE INSTALLATION OF PLUMBING SYSTEMS SHALL IN NO WAY CRUSH OR COMPROMISE BUILDING INSULATION.
- ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED. EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH A CHROME PLATED ESCUTCHEONAT EACH FINISHED ENTRY/EXIT.
- 10. ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND BESUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION ANDCONTRACTION. ALL PIPING SHALL BE CONCEALED EXCEPT IN UNFINISHEDSPACES. INSTALL AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT. ALL PIPING EXPOSED TO VIEW SHALL BEROUTED AS HIGH AS POSSIBLE AND TO THE UNDERSIDE OF STRUCTURE.
- ELEVATIONS LISTED FOR ALL PLUMBING SYSTEM PIPING IN THE CONTRACTDOCUMENTS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION AGAINSTEXISTING CONDITIONS, UTILITIES AND NEW CONSTRUCTION. ALL SLOPED PLUMBING SYSTEMS SHALL HAVE RIGHT OF WAY OVER ALL OTHER BUILDING SYSTEM COMPONENTS.
- 12. ALL EXISTING BUILDING AND SITE FEATURES NOT BEING ALTERED BY THIS PROJECT ARE TO BE PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ALL DAMAGE OCCURRING TO EXISTING CONSTRUCTION CAUSED BY THE CONTRACTOR'S OPERATIONS AT HIS/HER EXPENSE TO THE COMPLETE SATISFACTION OF THE OWNER.
- 13. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK UNDER HIS/HER CONTRACT WITH ALL OTHER BUILDING TRADES.

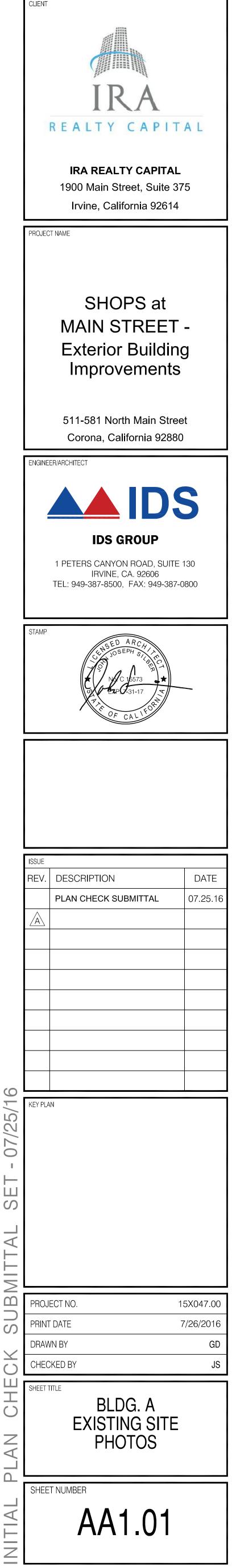
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SHOPS at MAIN STREET - Exterior Building Improvements 511-581 North Main Street Corona, California 92880			
ENGINE	ER/ARCHITECT		
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IDS GROUP 1 PETERS CANYON ROAD, SUITE 130 IRVINE, CA. 92606 TEL: 949-387-8500, FAX: 949-387-0800			
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KEY PLAN			
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SHEET TITLE GENERAL NOTES			
SHEE	T NUMBER G1.06		

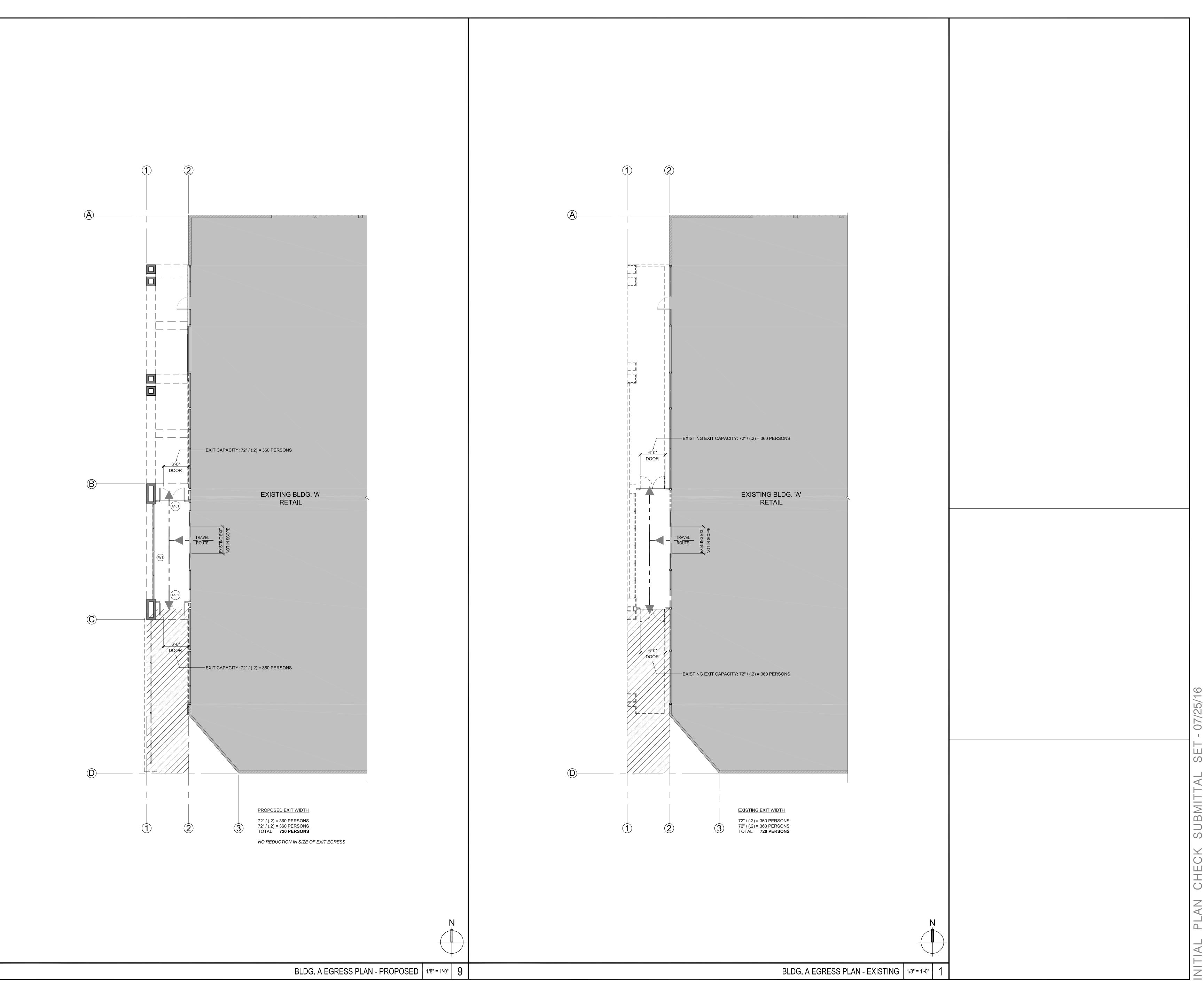


SITE PHOTO	S-16	SITE	E PHOTO	S-12	
SITE PHOTO	S-15	SITE	E PHOTO	S-11	
NOT USED	<u>S-14</u>	 DASHED LINE INDICATES EXT DEMOLITION REMOVE EXISTIN CLADDING TO INTERFACE OF CURB. DO NOT INTERFERE A EXISTING ROOFING REMOVE EXISTING COPING EXISTING EXTERIOR CLADDING REMAIN REMOVE SUPPORT FRAMING REQUIRED CUT FRAMING TO SEE STRUCT. DOCS IF REQU REMAIN FOR ROOF CURB. REMOVE FINISH FLOOR TO C SLAB. SCARIFY CONCRETE S LEVEL TO OBTAIN SELF LEAA COMPOUND. 	NG F ROOF WITH IG TO AS REMOVE UIRED TO CONCRETH SURFACE)	
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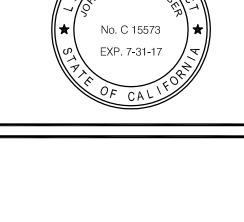




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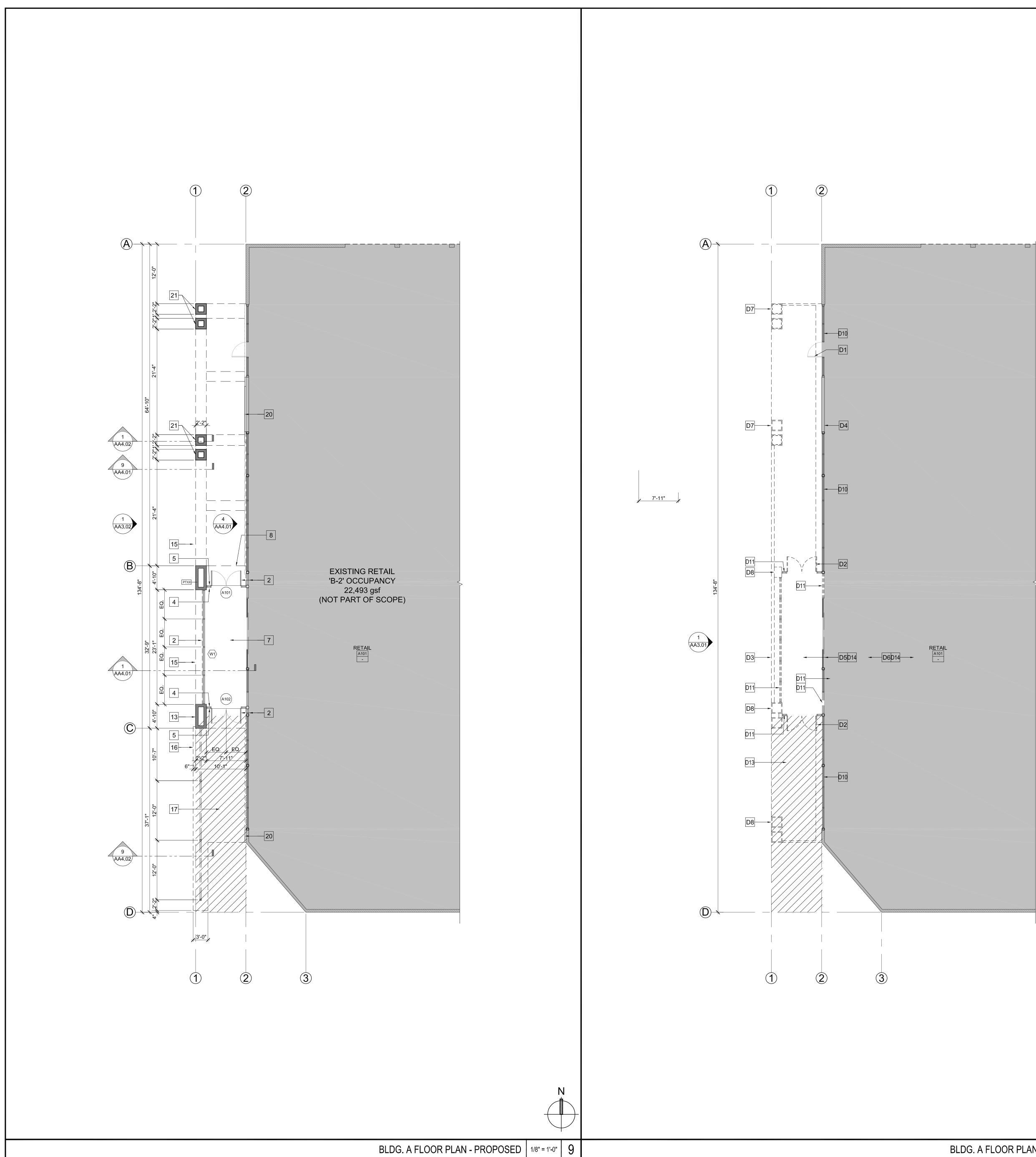
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D1	EXISTING DOOR & FRAME TO REMAIN
D2	EXISTING DOOR & FRAME TO BE REMOVED
D3	EXISTING WALL TO BE REMOVED & FOUNDATION
D4	EXISTING WALL TO REMAIN
D5	EXISTING FINISH FLOORING TO BE REMOVED
D6	EXISTING FINISH FLOORING TO REMAIN
D7	EXISTING COLUMN - REMOVE WOOD FINISH (PROTECT-IN-PLACE STRUCTURAL STEEL FIELD VERIFY LOCATION OF EXISTING STRUCTURAL STEEL & NOTIFY ARCHITECT
D8	EXISTING COLUMN / POST AND FOUNDATION TO BE REMOVED
D9	EXISTING GAS / ELECTRIC METER TO REMAIN
D10	EXISTING STOREFRONT WINDOW TO REMAIN
D11	EXISTING STOREFRONT WINDOW TO BE REMOVED & FOUNDATION
D12	EXISTING COLUMN SURROUND TO REMAIN
D13	EXISTING SLAB AND SUBGRADE TO BE REMOVED
D14	EXISTING SLAB TO REMAIN
D15	EXISTING AWNING TO BE REMOVED
D16	-
D17	-
D18	-
D19	-
D20	-
KE	EY NOTES:
1	STRUCTURAL COLUMN, SEE STRUCTURAL DWGS.
2	STOREFRONT WINDOW / DOOR SYSTEM
3	NOT USED
4	TACTILE EXIT SIGN, SEE 9/G1.03
5	ACCESSIBLE DOOR SIGNAGE, SEE 9/G1.03
6	NOT USED
7	FLOORING PER FINISH PLAN, SEE A2.21 & A2.22
8	DASHED LINE INDICATES SOFFIT ABOVE
9	ELECTRICAL EQUIPMENT
10	METAL RAILING PER DETAIL
11	NOT USED
12	CAST-IN-PLACE CONCRETE SITE WALL
13	HORIZONTAL WOOD SIDING ENCLOSURE SYSTEM
14	HORIZONTAL WOOD SIDING SCREEN WALL
15	LINE OF CADDIED SOFFIT ELEMENT ABOVE
16	DASHED LINE INDICATES TRELLIS SYSTEM ABOVE
17	CONCRETE SLAB PER STRUCTURAL
18	EXTERIOR LIGHTING
19	EXTERIOR GYP. BRD. W/ PLASTER
20	METAL PANEL EXTERIOR WALL SYSTEM

GENERAL NOTES:

- SEE ADA SHEETS FOR ADDITIONAL NOTES AND DIMENSIONS, TYP.
- 1. ALL DIMENSIONS ARE FROM FACE OF FINISH U.N.O.
- 2. REFER TO STRUCTURAL AND ELECTRICAL DOCUMENTS FOR ADDITIONAL REQUIRED DEMOLITION.

FLOOR PLAN LEGEND:

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EXISTING WALL TO REMAIN - PROTECT IN PLACE

- EXISTING WALL TO BE REMOVED
- NEW WALL
- INTERNATIONAL SYMBOL OF ACCESS
- DOOR NUMBER REFER TO DOOR SCHEDULE ON A6.01
- WINDOW NUMBER REFER TO WINDOW SCHEDULE ON A6.01

AREA NOT IN SCOPE

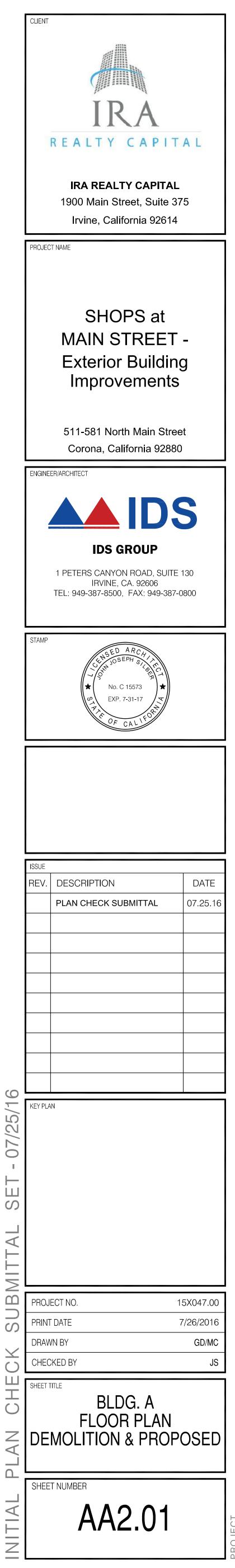
HATCH INDICATES EXTENT OF SLAB & FOUNDATION TO BE REMOVED

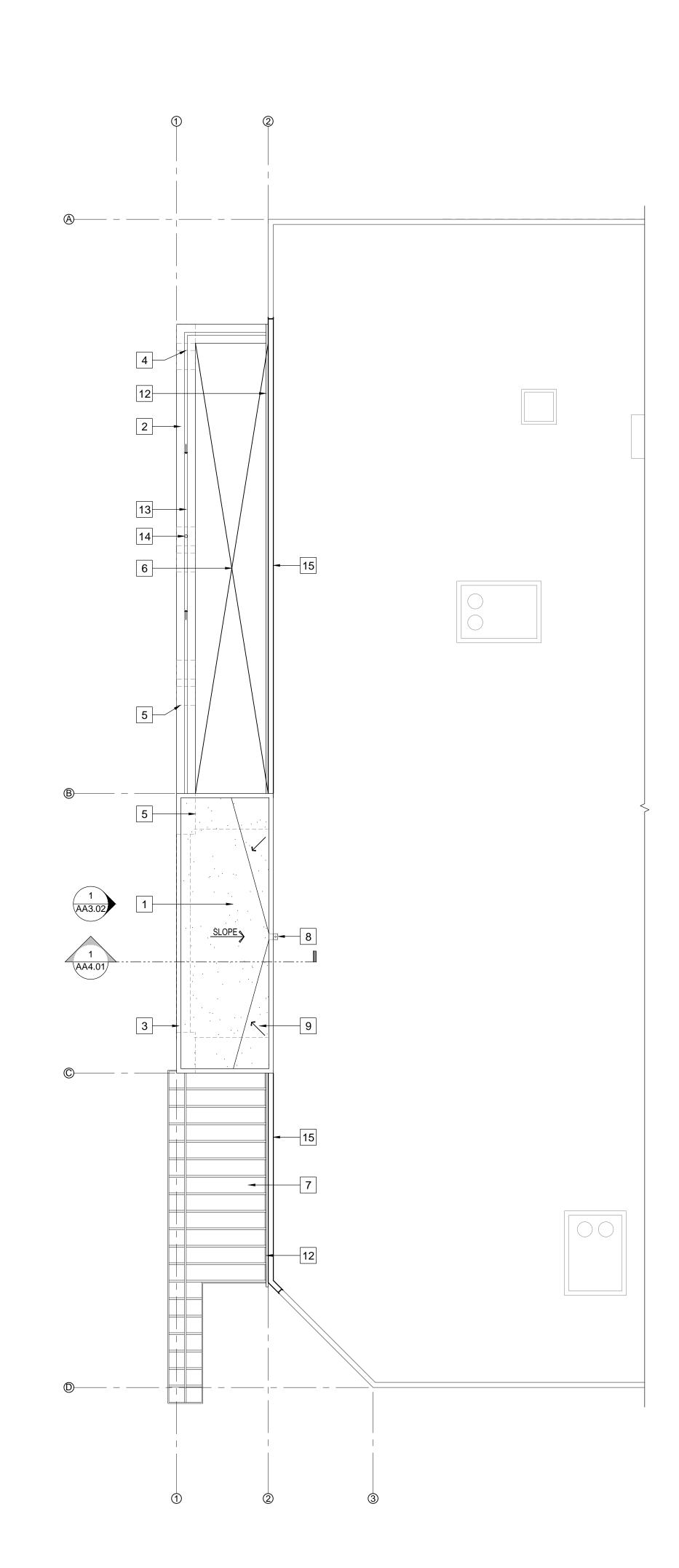
WALL LEGEND:

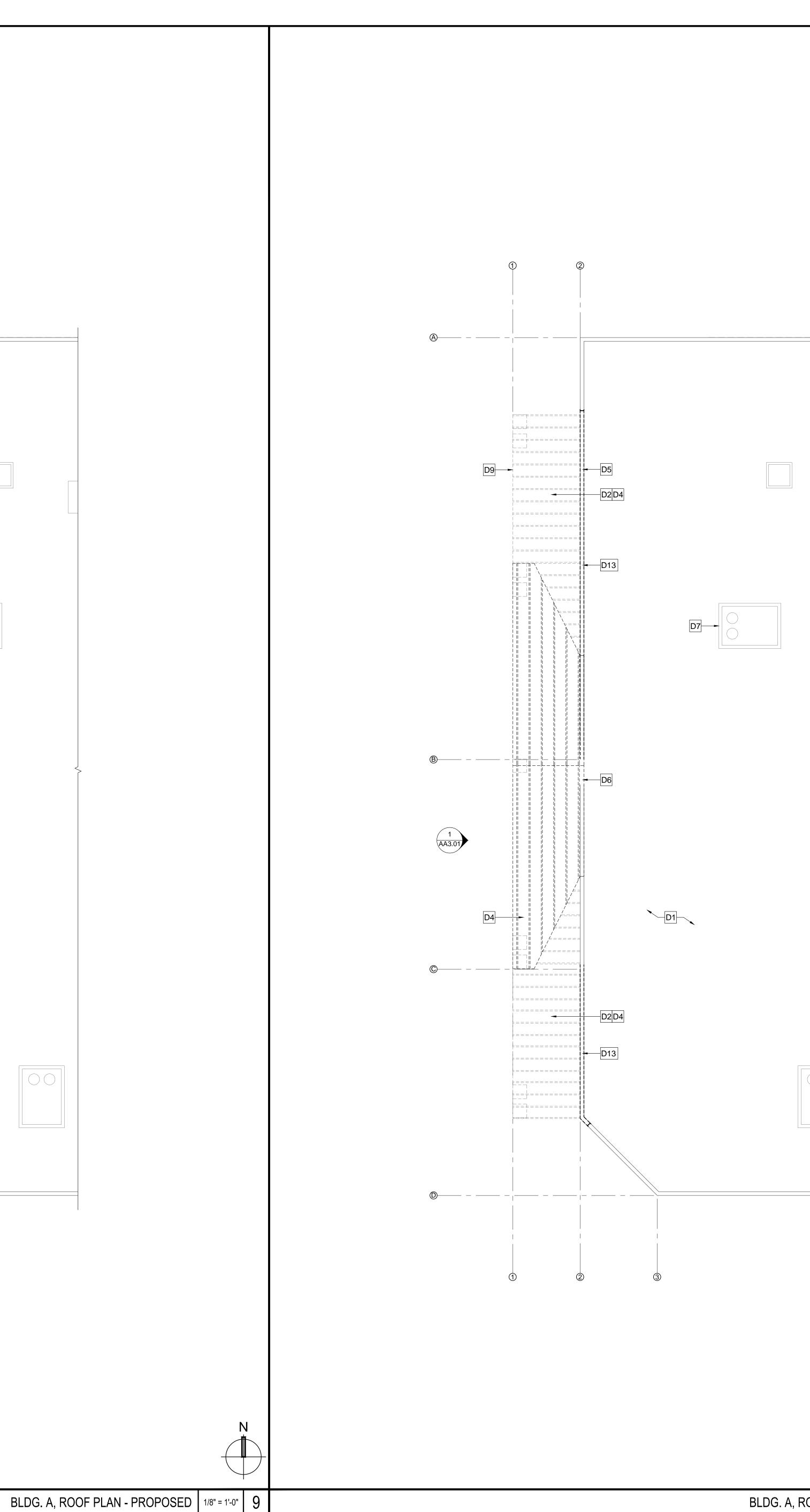
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1. FOR PARTITION TYPES, REFER TO SHEET A6.03.

PT# ----- PARTITION DESIGNATION TYPE PARTITION DESIGNATION

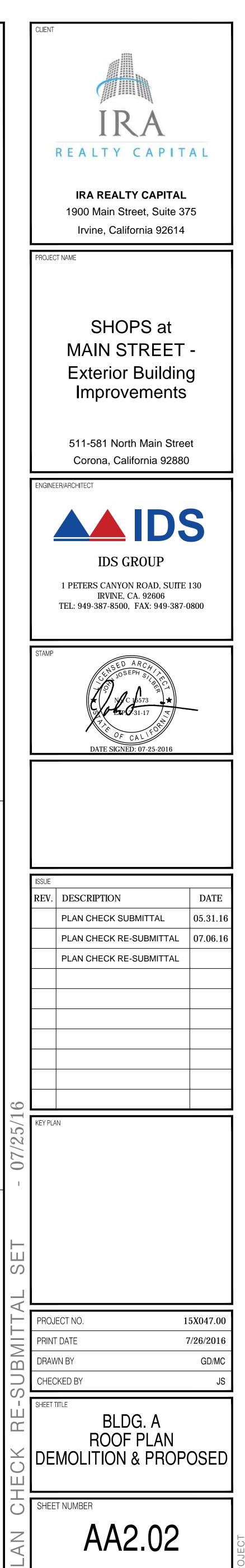


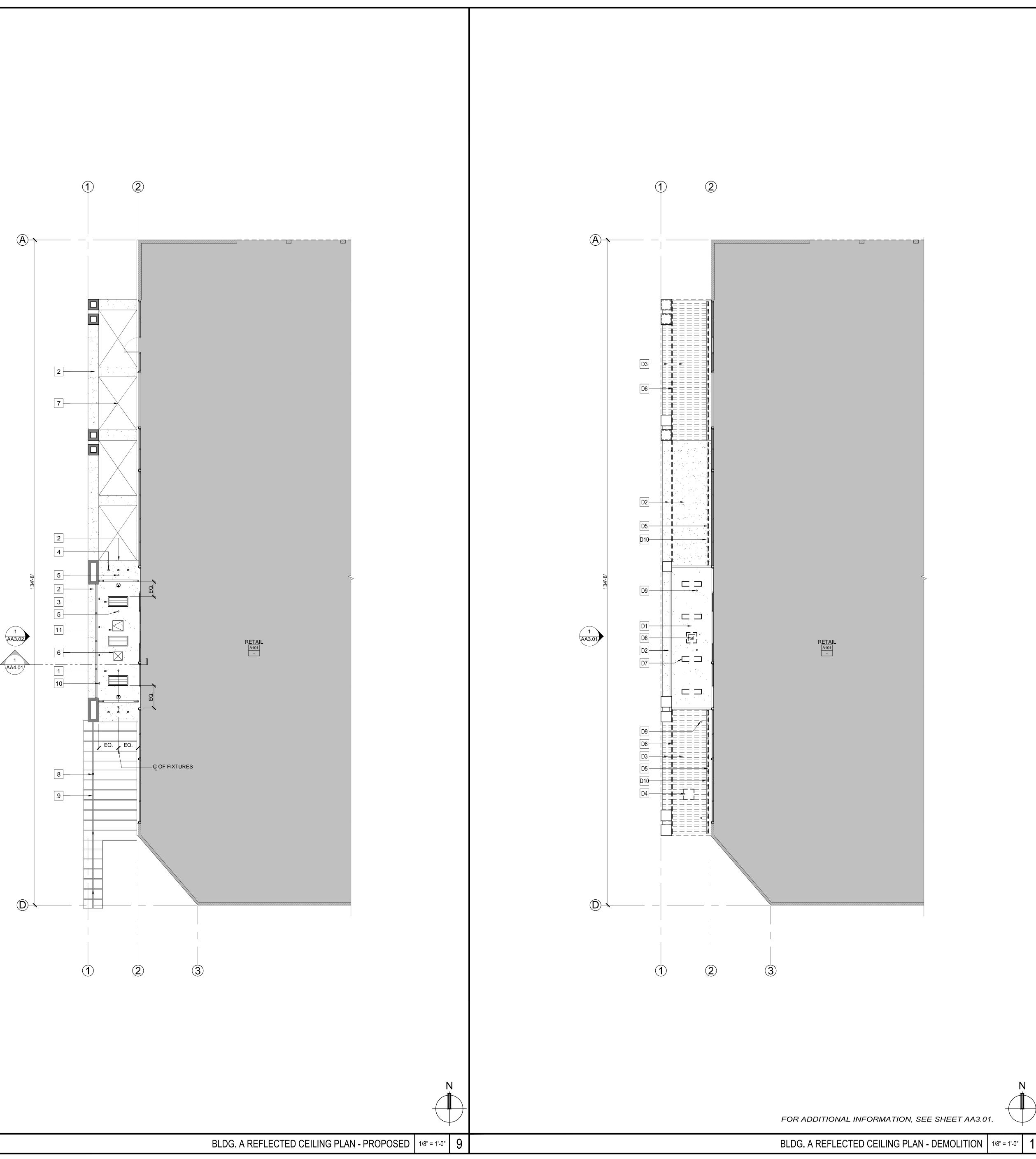




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Ī	DEMOLITION KEY NOTES:	
[D1 EXISTING ROOFING MATERIAL TO REMAIN	
	2 EXISTING ROOFING MATERIAL TO BE REMOVED	
	 EXISTING STANDING SEAM METAL ROOF TO REMAIN EXISTING STANDING SEAM METAL ROOF TO BE REMOVED 	
	D5 EXISTING PARAPET COPING CAP TO REMAIN	
	D6 EXISTING PARAPET COPING CAP TO BE REMOVED	
	D7 EXISTING MECHANICAL EQUIPMENT TO REMAIN	
	 EXISTING MECHANICAL EQUIPMENT TO BE REMOVED EXISTING CANOPY ENCLOSURE / SOFFIT ELEMENT TO BE REMOVED 	
	10 EXISTING CANOPY ENCLOSURE / SOFFIT ELEMENT TO REMAIN	
	111 LINE OF EXISTING STRUCTURE, BELOW	
	LINE OF EXISTING STRUCTURE TO BE REMOVED, BELOW REMOVE EXISTING COPING	
Ē	15 -	
	117 - 	
	119 -	
	20 -	
<u> </u>	KEY NOTES:	
	1 BUILT-UP ROOFING SYSTEM	
	2 PARAPET CAP 3 ROOF PARAPET FLASHING, SEE DTL -/A8.01	
	4 LINE OF EXISTING COLUMN, BELOW	
	5 LINE OF COLUMN, BELOW	
	6 OPEN TO BELOW	
	7 TRELLIS 8 SCUPPER, CONDUCTOR & DOWNSPOUT TO LOWER ROOF DECK, SEE DTL 11/A8.01	
	9 CRICKET, SEE DTL -/A8.01	
[1	0 EXISTING EQUIPMENT TO REMAIN	
	PATCH AND REPAIR EXISTING ROOFING MATERIAL AT AREA OF WORK	
	12 METAL PANEL SYTEM 13 GUTTER SYSTEM	
[1	4 DRAIN & DOWNSPOUT	
	5 NEW COPING & FLASHING SYSTEM	
	16 - 17 -	
	18 -	
	19 -	
	20 -	
	GENERAL NOTES - DEMOLITION:	
	ANY ASBESTOS CONTAINING MATERIALS (ACM) THAT MAY BE PRESENT IN ROOFING MATERIALS.	
2	CONTRACTOR SHALL REMOVE ALL EXISTING UNUSED CONDUIT, INTERNET CABLE, ELECTRICAL WIRING, GAS AND WATER LINES, ETC. THAT ARE CURRENTLY ROUTED TO THE AREA OF WORK.	
	GENERAL NOTES:	
_	SEE ADA SHEETS FOR ADDITIONAL NOTES AND DIMENSIONS, TYP.	
	1. ALL DIMENSIONS ARE FROM FACE OF FINISH U.N.O.	
	 ROOF SLOPE TO BE 1/4" PER FOOT MIN., UNO. MIN. CLASS 'A' ROOFING 	
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DEMOLITION KEY NOTES:

- D1 EXISTING GYP. BOARD SOFFIT TO BE REMOVED
- D2 EXISTING EXTERIOR PLASTER SOFFIT TO BE REMOVED
- D3 EXISTING WOOD SIDING SOFFIT TO BE REMOVED
- D4 EXISTING ATTIC ACCESS PANEL TO BE REMOVED
- D5 EXISTING STRIP LIGHT FIXTURE TO BE REMOVED
- D6 EXISTING SOFFIT VENT TO BE REMOVED
- D7 EXISTING 1x4 FLUOR. LIGHT FIXTURE TO BE REMOVED, SEE NOTE #5, BELOW
- D8 EXISTING HVAC REGISTER TO BE REMOVED, SEE NOTE #6, BELOW
- D9 EXISTING SPRINKLER HEAD TO BE RELOCATED, SEE NOTE #7, BELOW
- D10 EXISTING DROPPED SOFFIT TO BE REMOVED

KEY NOTES:

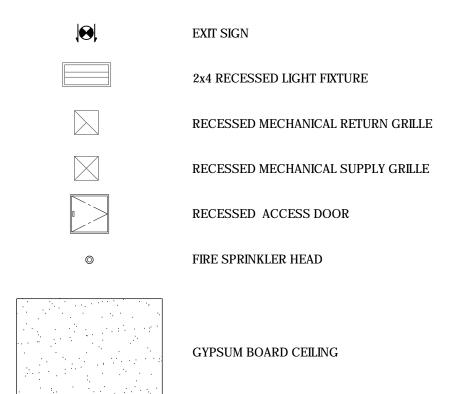
- 1 SUSPENDED GYP. BD. SOFFIT, PAINTED
- 2 EXTERIOR PLASTER SOFFIT, PAINTED
- 3 2x4 RECESSED LED LIGHT FIXTURE, EQUALLY SPACED
- 4 RECESSED LED LIGHT FIXTURE, EQUALLY SPACED
- 5 RECESSED SPRINKLER HEAD
- 6 MECHANICAL REGISTER
- 7 OPEN TO ABOVE
- 8 COLUMN PER STRUCTURAL
- 9 TRELLIS FRAMING MEMBERS, PAINTED
- 10 CONVENIENCE OUTLET 11 ACCESS HATCH (24x36)

GENERAL NOTES:

- 1. ALL CEILINGS, SOFFITS TO HAVE P-1 PAINT FINISH, SEE FINISH PLAN FOR ADDITIONAL INFORMATION.
- 2. IN AREAS OF WORK INVOLVING PARTIAL DEMOLITION OF ANY EXISTING CEILING SOFFIT, PATCH & REPAIR THE FINISH CEILING TO MATCH ADJACENT FINISH SURFACE
- 3. RECESS LIGHT FIXTURES TO BE CENTERED IN ROOM PERIMETER AND EQUALLY SPACED
- UNLESS NOTED OTHERWISE. 4. ALIGN CEILING FIXTURES, TYPICAL.
- 5. MAINTAIN CIRCUITING & REROUTE WIRING TO NEW LIGHT FIXTURES. 6. REROUTE HVAC DUCTWORK TO NEW REGISTER LOCATION.
- 7. REROUTE SPRINKLER PIPING TO NEW HEAD LOCATIONS. ABANDON & CAP OFF ANY UNUSED LINES AT THE NEAREST ADJACENT WALL.

CEILING LEGEND:

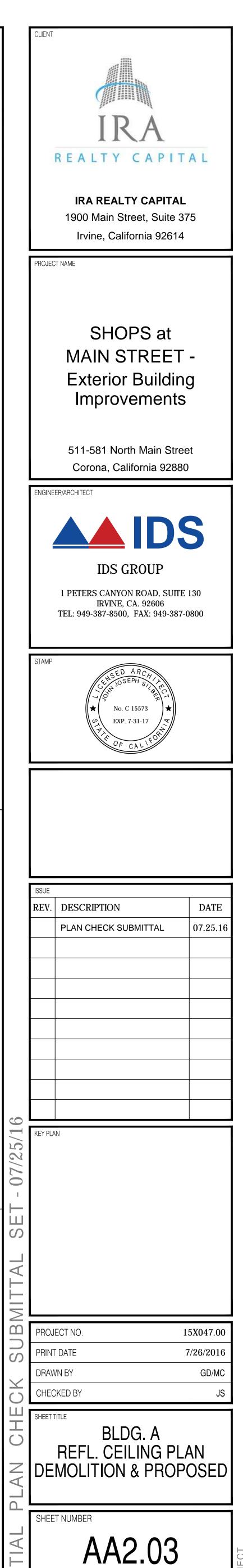


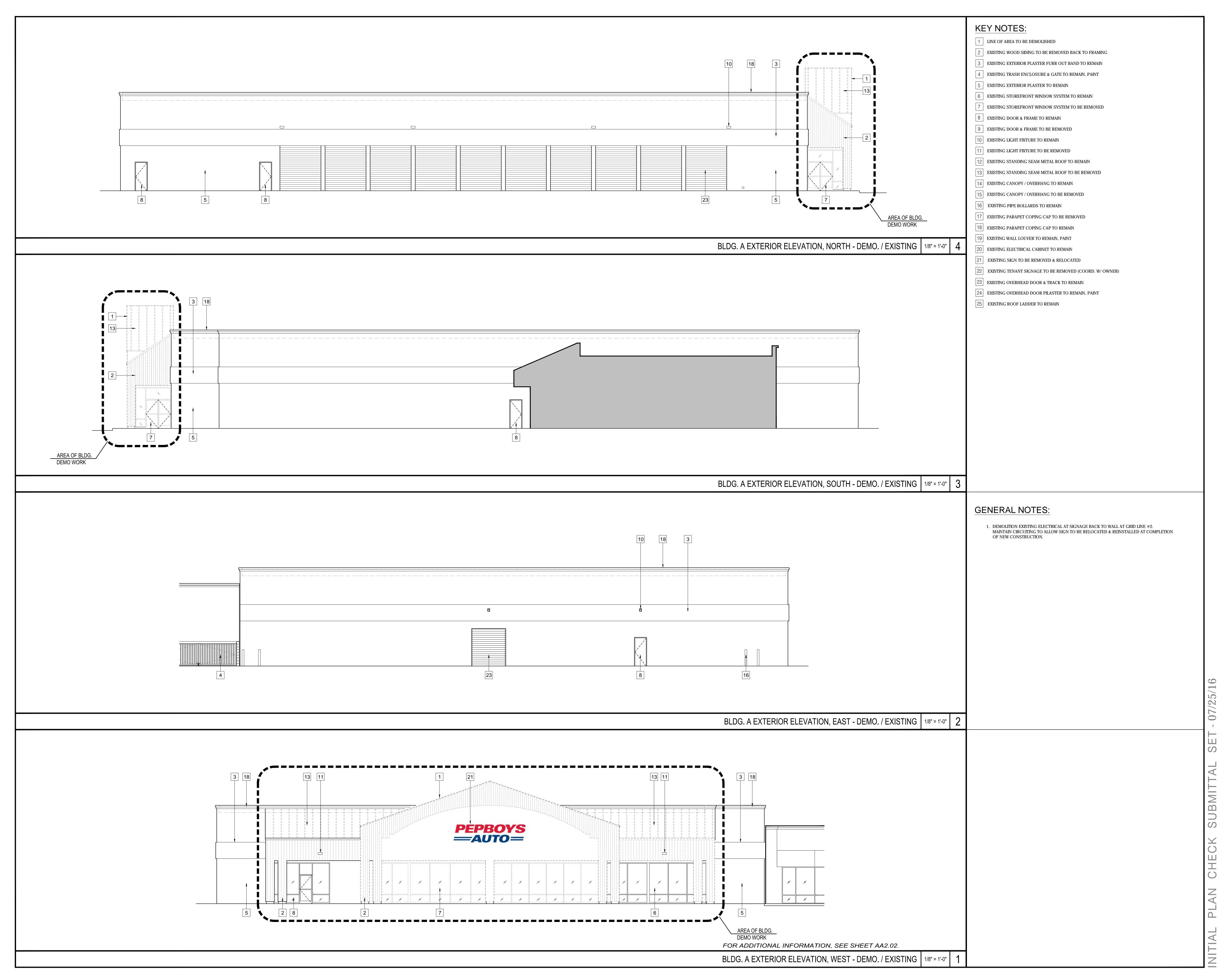


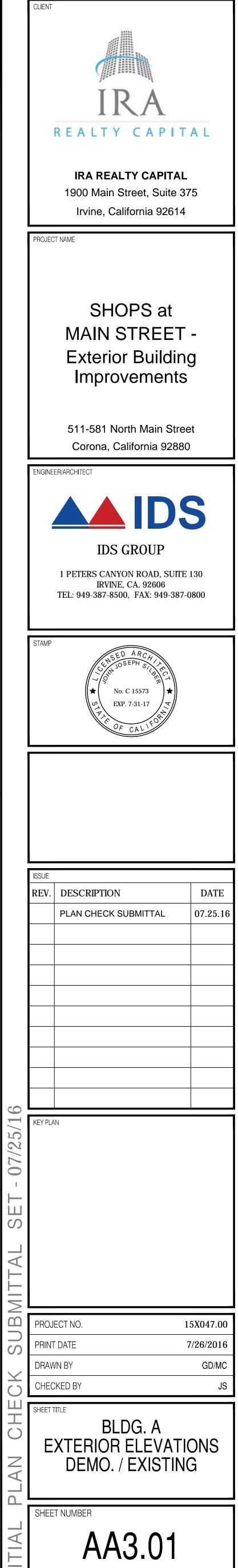
FOR ADDITIONAL INFORMATION, SEE SHEET AA3.01.

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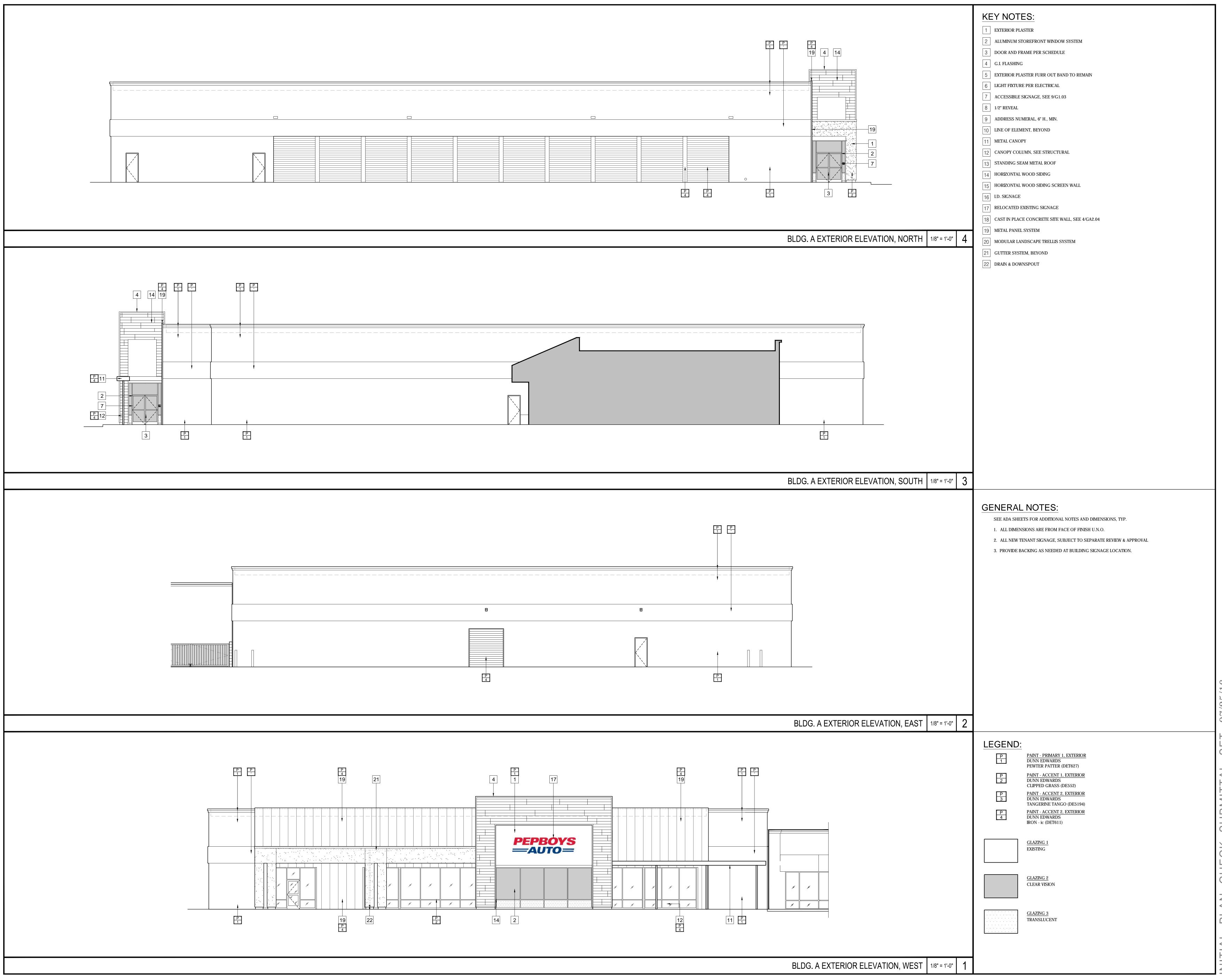
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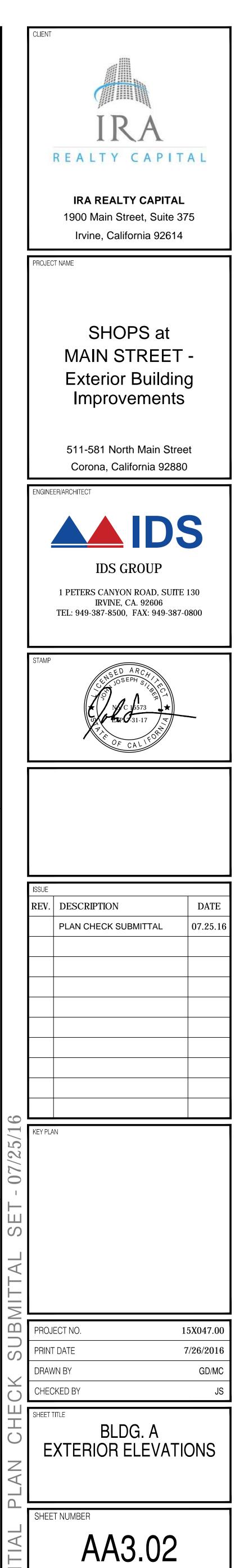


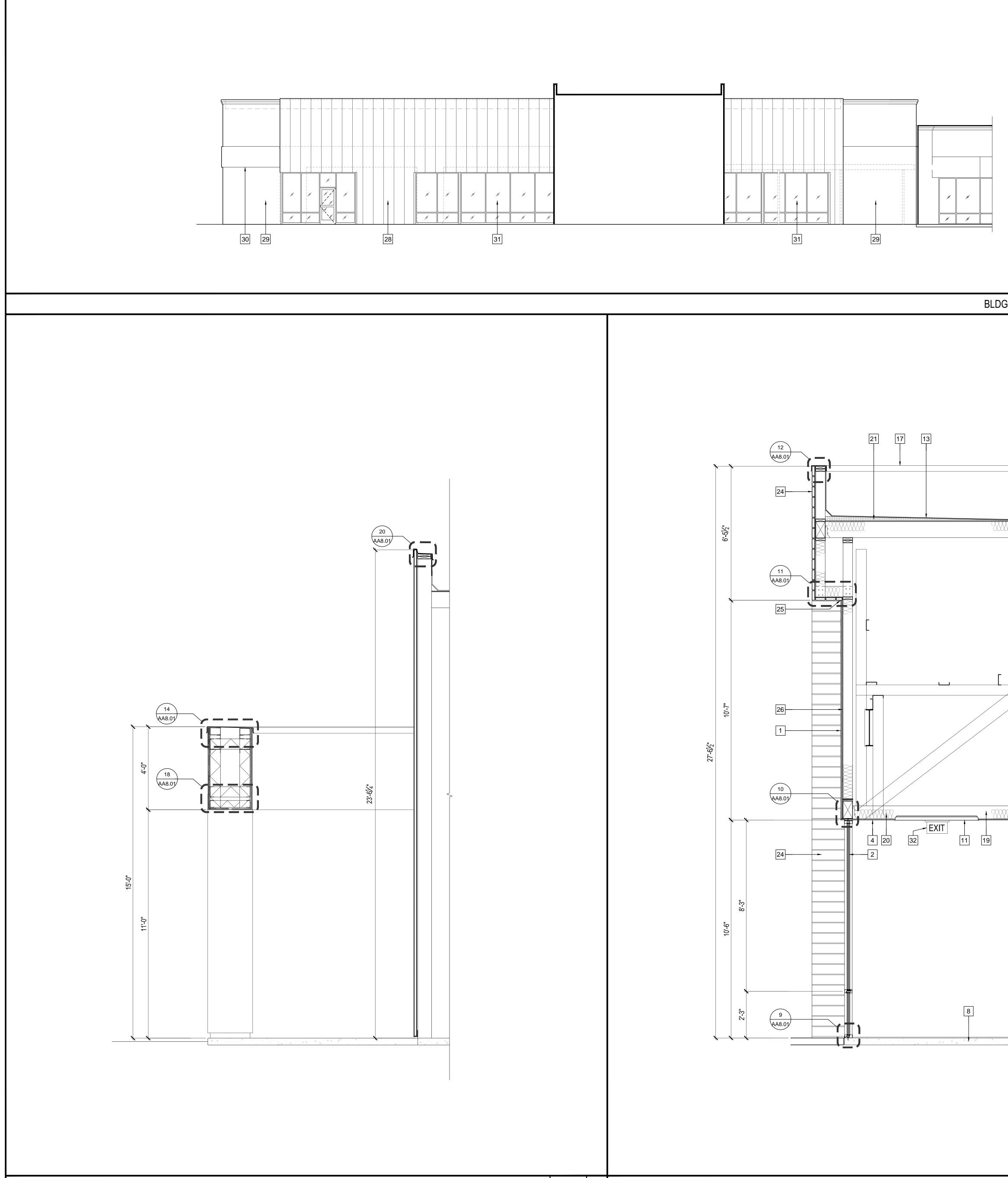




PROJECT







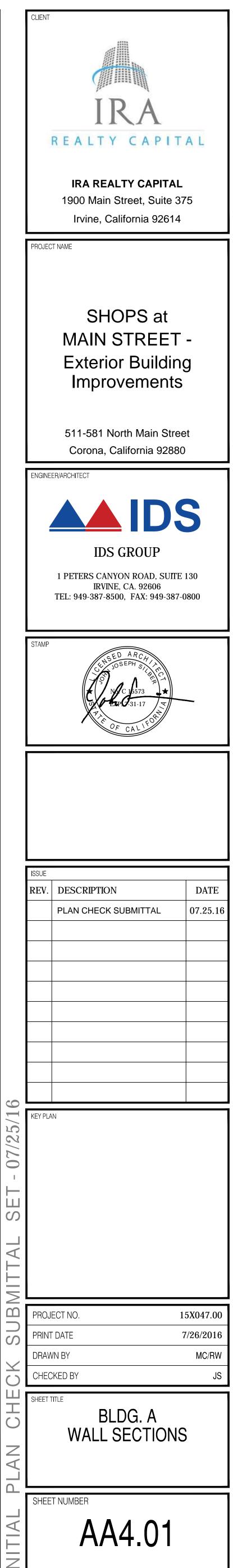
	3	DOOR AND FRAME PER AA6.01
	4	GYP. BOARD OVER STUD FRAMING
	5	EXTERIOR PLASTER SOFFIT FINISH SYSTEM
	6	WALL PER PLAN CONCRETE SLAB / FOUNDATION PER STRUCTURAL
	8	EXISTING CONCRETE SLAB / FOUNDATION
	9	1/2" REVEAL
	10	SUSPENDED CEILING SYSTEM
	11	LIGHT FIXTURE
	12	LINE OF BUILDING BEYOND BUILT-UP ROOFING SYSTEM
	14	EXISTING ROOFING SYSTEM
		GUTTER & DOWNSPOUT
	16	SCUPPER
	17	G.I. FLASHING
	18 19	ROOF DRAIN / OVERFLOW FRAMING PER STRUCTURAL
	20	BATT INSULATION
	21	TAPERED RIGID INSULATION
DG. A EXTERIOR ELEVATION, WEST $1/8" = 1'-0"$ 4	22	DIAGONAL BRACE
	23	BASE PER SCHEDULE
	24	HORIZONTAL WOOD SIDING ROD & SEALANT
	26	BACKER BOARD
	27	ACCESS PANEL
	28	METAL PANEL SYSTEM
	29	EXISTING EXTERIOR PLASTER FURR OUT BAND TO REMAIN
	30	EXISTING EXTERIOR PLASTER TO REMAIN
	31	EXISTING STOREFRONT SYSTEM TO REMAIN EXIT SIGN
	33	CUT STOP
	34	REMOVE EXISTING SHEATHING
AA8.01		
	GE	SEE ADA SHEETS FOR ADDITIONAL NOTES AND DIMENSIONS, TYP.
		1. ALL DIMENSIONS ARE FROM FACE OF FINISH U.N.O.
WALL SECTION - BLDG. A 1/2" = 1'-0" 1		
	-	

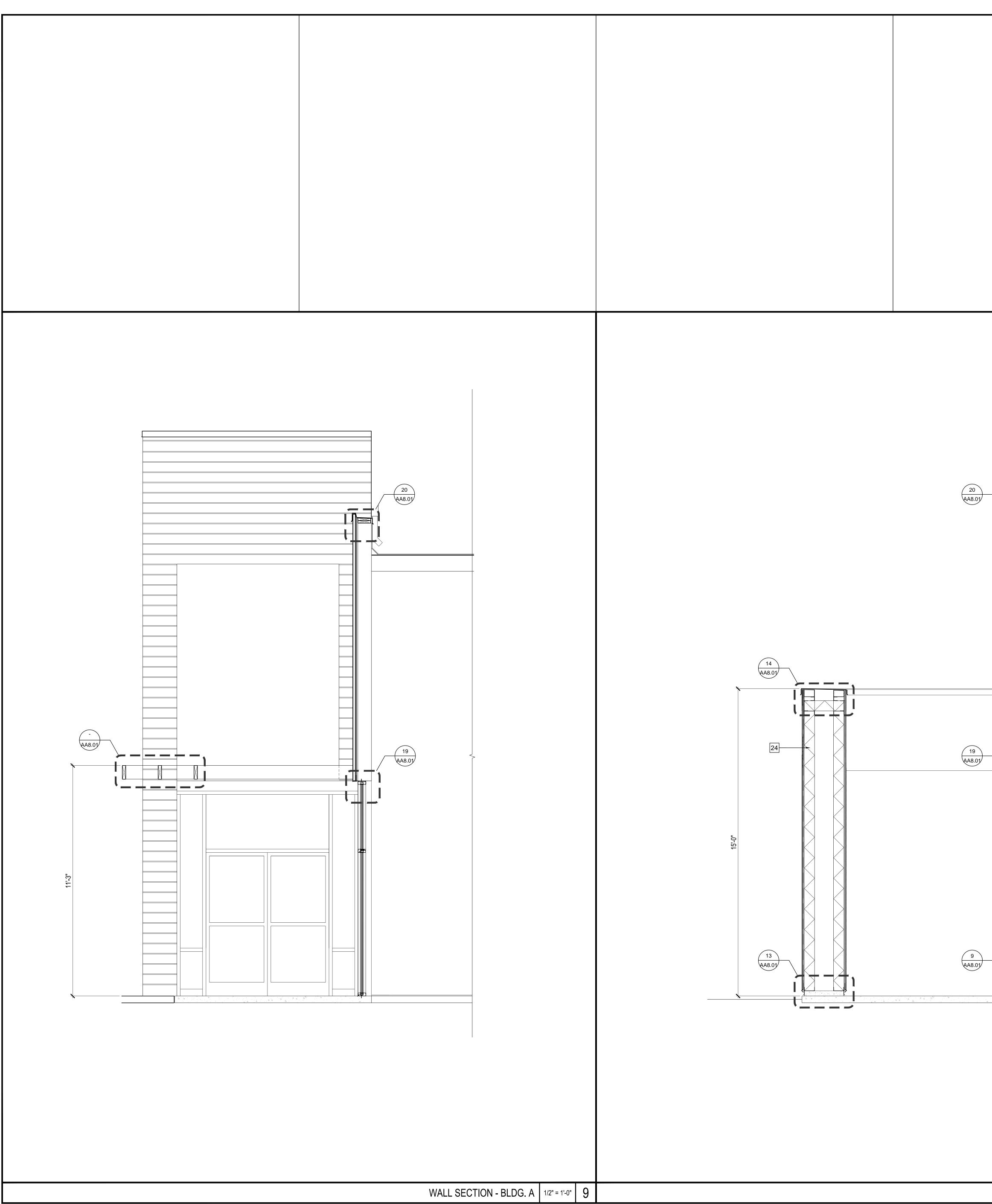
KEY NOTES:

1 PROPOSED EXTERIOR PLASTER

3 DOOR AND FRAME PER AA6.01

2 PROPOSED ALUMINUM STOREFRONT SYSTEM





	10 SUSPENDED CEILING SYSTEM
	11 LIGHT FIXTURE 12 LINE OF BUILDING BEYOND
	13 BUILT-UP ROOFING SYSTEM
	14 EXISTING ROOFING SYSTEM
	15 GUTTER & DOWNSPOUT 16 SCUPPER
	17 G.I. FLASHING
	18 ROOF DRAIN / OVERFLOW
	19 FRAMING PER STRUCTURAL 20 BATT INSULATION
	21 TAPERED RIGID INSULATION
	22 DIAGONAL BRACE
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	31 EXISTING STOREFRONT SYSTEM TO REMAIN 32 EXIT SIGN
	33 CUT STOP
	34 REMOVE EXISTING SHEATHING
	GENERAL NOTES:
	SEE ADA SHEETS FOR ADDITIONAL NOTES AND DIMENSIONS, TYP. 1. ALL DIMENSIONS ARE FROM FACE OF FINISH U.N.O.
I	
WALL SECTION - BLDG. A 1/2" = 1'-0" 1	

KEY NOTES:

6 WALL PER PLAN

9 1/2" REVEAL

1 PROPOSED EXTERIOR PLASTER

3 DOOR AND FRAME PER AA6.01

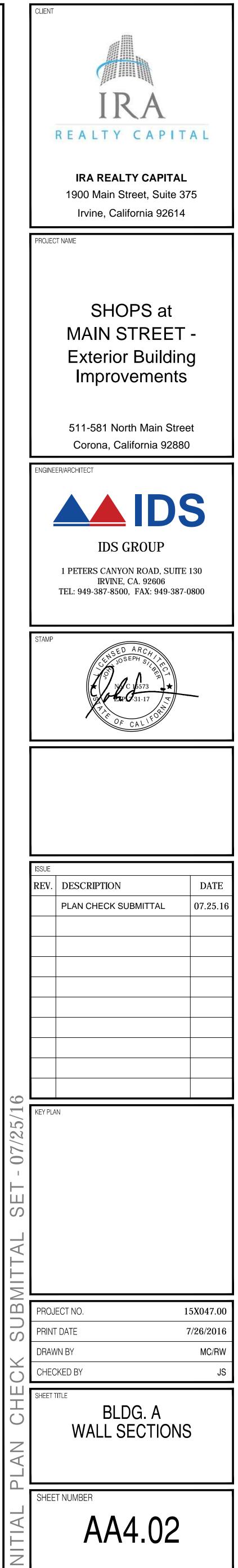
4 GYP. BOARD OVER STUD FRAMING

2 PROPOSED ALUMINUM STOREFRONT SYSTEM

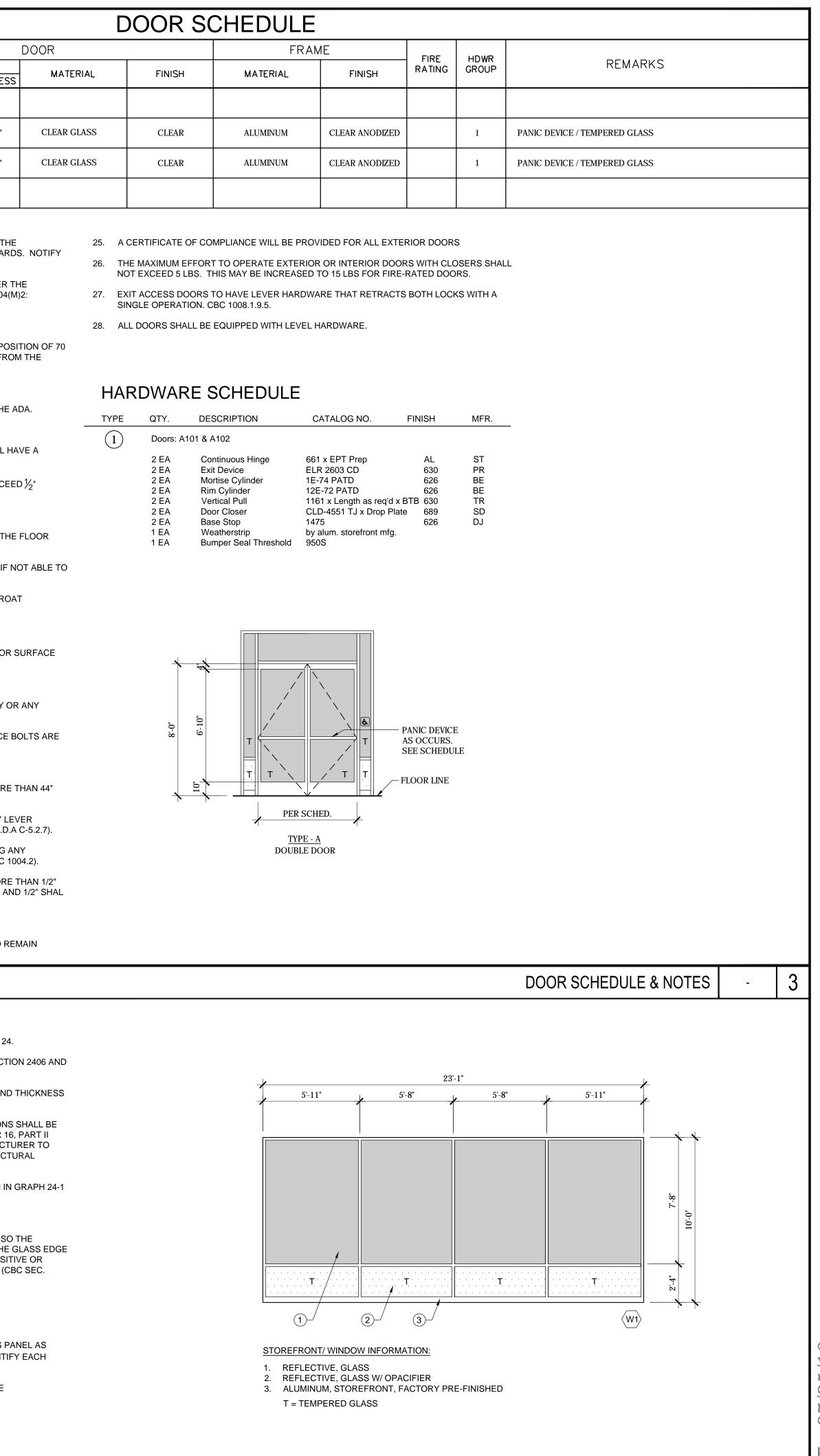
5 EXTERIOR PLASTER SOFFIT FINISH SYSTEM

8 EXISTING CONCRETE SLAB / FOUNDATION

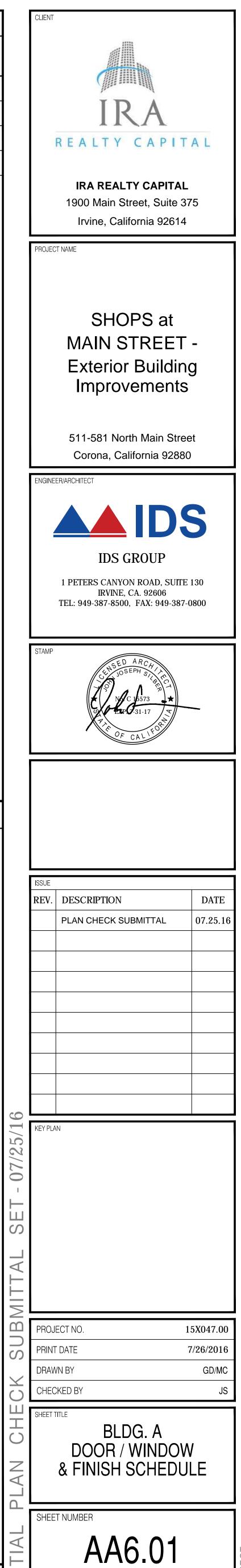
7 CONCRETE SLAB / FOUNDATION PER STRUCTURAL

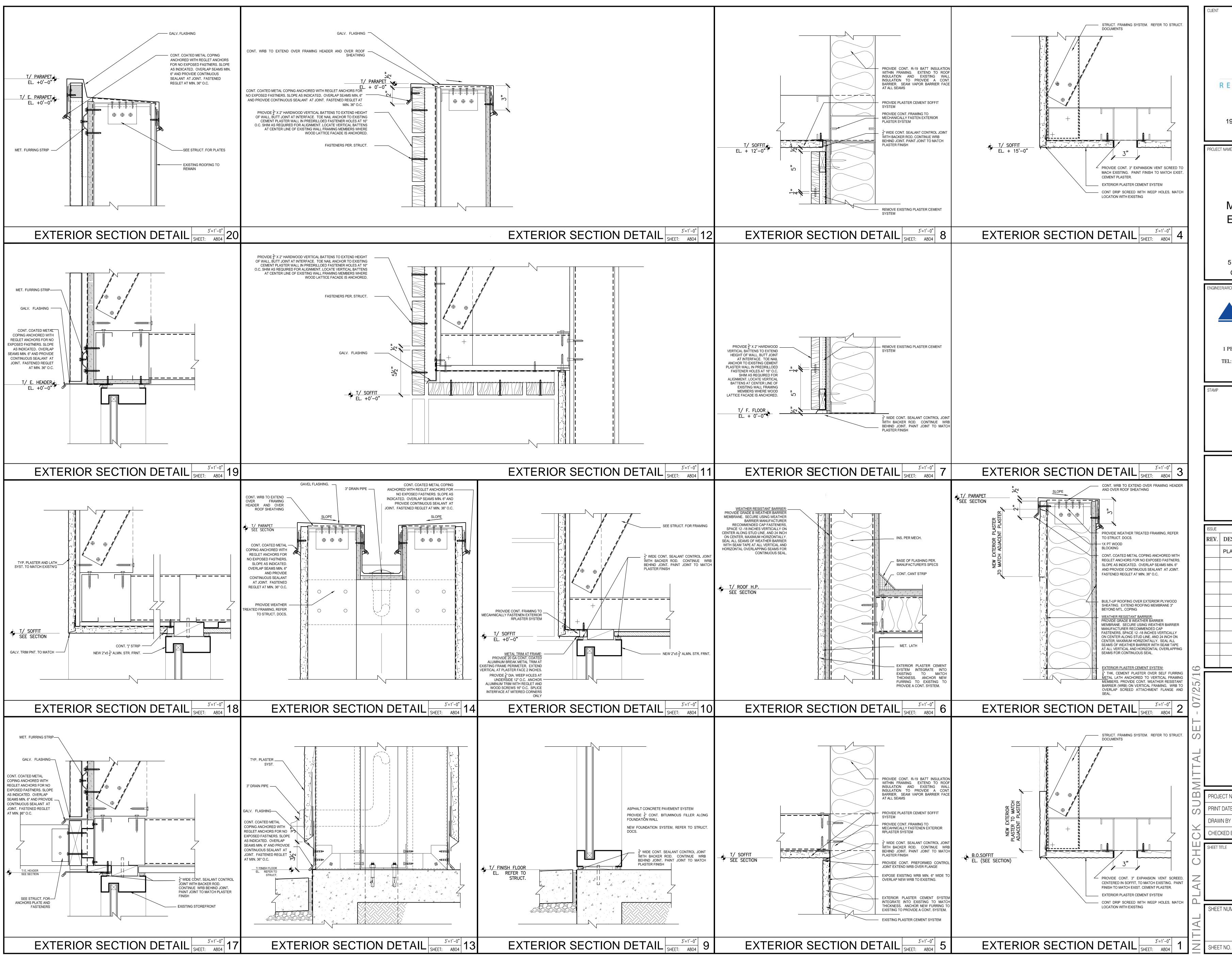


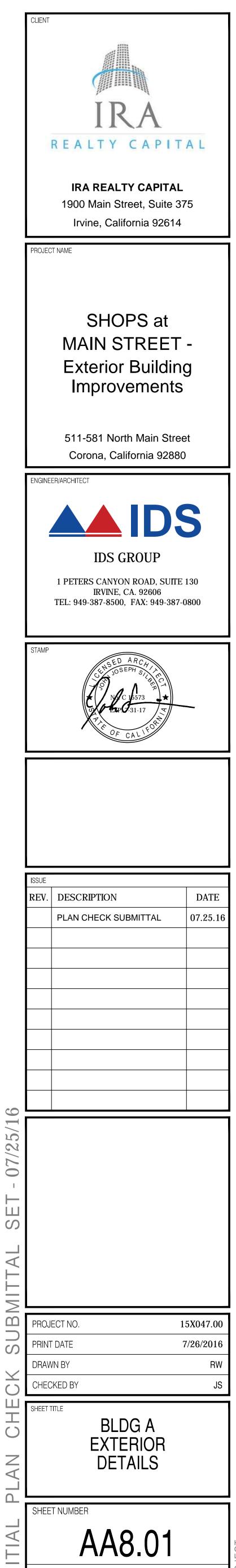
FINISH SCHEDUI	E							
2 1, EXTERIOR S 2 (DET627)			NO.	ROOM NAME	TYPE	WIDTH	SIZE HEIGHT	THICKNESS
1, EXTERIOR			4101	1ST FLOOR ENTRY			81.01	1.9/4
(DE552) 2, <u>EXTERIOR</u> GO (DE5194) 2, EXTERIOR			A101 A102	ENTRY	A	3'-0"-PAIR 3'-0"-PAIR	8'-0" 8'-0"	1-3/4" 1-3/4"
2, <u>ENTERIOR</u> 3 (<u>7 1, INTERIOR</u> 5 (DEW341)			1. VI C/ TH 2. M/ RI 2.1. 2.2. 2.3. 3. TH	- NERAL DOOR NO ERIFY THAT ALL DOORS AND DOO ALIFORNIA ADMINISTRATIVE CODE TE ARCHITECT IMMEDIATELY IN CA AXIMUM EFFORT TO OPERATE DO EQUIREMENTS OF CALIFORNIA AD INTERIOR DOORS - 5 POUNDS EXTERIOR DOORS - 5 POUNDS FIRE DOORS - 15 POUNDS HE SWEEP OF A DOOR CLOSER SHE EGREES, THE DOOR WILL TAKE AT	R HARDWAR E (TITLE 24) A ASE OF DISC ORS SHALL I MINISTRATIV	ILL GOVERN REPANCY. NOT EXCEED /E CODE, TIT JSTED SO TH	NG CODES) THE FOLL('LE 24, SEC' HAT FROM /	& STANDARD OWING PER TH TION 2-3304(M AN OPEN POSI
NG R: JOHNSONITE SOLID RUBBER FLOORING, RAISED ROUND PATTER 40 BLACK 24x24	N		4. R/ 5. AI 6. SF 7. TH 8. M/ AI 9. PF 10. AI	ATED DOORS SHALL COMPLY WITH ATED DOORS SHALL COMPLY WITH LL HARDWARE TO BE LEVER-TYPE PECIAL LOCKING DEVICES SHALL I HE BOTTOM 10" OF ALL DOORS EX MOOTH UNINTERRUPTED SURFACE AXIMUM UNDERCUT OF ALL DOOR BOVE FINISH FLOOR SURFACE. ROVIDE WEATHER SEALS ON ALL I LL GLAZING WITHIN A 24" ARC OF I HALL BE TEMPERED.	ADING EDGE HUBC SECTI PER STATE BE OF AN AP CEPT AUTON E. S NOT IN A F EXTERIOR DO	E OF THE DO ON 713. OF CALIFOR PROVED TYP MATIC AND S RATED CORR DORS PER A	NIA, TITLE 2 PE. LIDING DOO DOR SHAL	24, AND THE A DRS SHALL HA L NOT EXCEEI ARDS.
R: JOHNSONITE TRADITIONAL WALL BASE (DCT-XXX-4) 4" HIGH / TOELESS 40 BLACK			RI 12. C(TH 13. AI 14. E) DF 15. AI 16. E) SF 17. M. PF	ONTRACTOR SHALL REFINISH ANY EFINISH TO "AS NEW" CONDITION. ONTRACTOR IS RESPONSIBLE TO HICKNESS' FOR EACH LOCATION. LL INTERIOR DOOR FRAMES TO BE (TERIOR LEVEL LANDING MAY SLO RAINAGE. LL DOOR STOPS TO HAVE 2x6 BAC (IT DOORS SHALL BE OPENABLE F PECIAL KNOWLEDGE OR EFFORT (ANUALLY OPERATED EDGE OR SL ROHIBITED ON EXIT DOORS (CBC - ROVIDE CLEAR SPACE AT EACH SI	COORDINAT E FACTORY F DPE UP TO 1/4 KING IN WAL ROM THE IN CBC 1004.3).	E & VERIFY A INISHED. PER FOOT L BEHIND. SIDE WITHO NTED FLUSH	ALL DOOR F IN ANY DIR UT THE USE I BOLTS AN	ECTION FOR S
ION R: JOHNSONITE MATCH RB-1			AF 20. AI H/ 21. AI H/ 22. TH LC BF 23. FI 24. PF	AND ACTIVATED HARDWARE SHAL BOVE THE FINISHED FLOOR (CBC LL DOORS IN PATH OF TRAVEL SH ARDWARE, PANIC BARS OR OTHEF LL EXIT DOORS SHALL OPEN IN TH AZARDOUS AREA OR WHEN SERVI HE FLOOR OR LANDING ON EACH S OWER THAN THE THRESHOLD OF A E BEVELED WITH 1:2 MAX. SLOPE (ELD MEASURE ALL OPENINGS PRI ROVIDE A DURABLE SIGN OVER AL NLOCKED WHENEVER THE BUILDI	1004.4). ALL BE OPER R TYPE NOT I IE DIRECTION NG AN OCCU SIDE OF A DO A DOORWAY CBC 1004.9 / OR TO FABR	RABLE WITH REQUIRING / N OF EXIT TR JPANT LOAD OOR SHALL E CHANGE IN AND 1004.9.1 ICATION. RS STATING	A SINGLE E A GRASP TO AVEL WHE OF 50 OR M BE LEVEL AN LEVEL BET A).	FFORT BY LEV O OPEN (A.D.A N SERVING AN MORE (CBC 10 ND NO MORE ⁻ WEEN 1/4" ANI
E 3M FASARA ARCHITECTURAL FILM MILKY WHITE MILANO' #SH2MAML			1. GLA 2. GLA TABLE 3. EAC OF TH 4. GLA CHOSI (CBC 3 DESIG ENGIN 5. THE (CBC 3 6. GLA 7. THE DEFLE LENGT NEGA 2404.2 8. FIEL 9. A CI 10. ALI REQ. F LIGHT 11. PF	AZING GENERAL I SS AND GLAZING SHALL COMPLY SS AND GLAZING SUBJECT TO HU S 24-C AND 24-D. TH LIGHT SHALL BEAR THE MANUF E GLASS (CBC SEC. 2402). SS IN WINDOW WALLS, SKYLIGHT EN TO WITHSTAND THE LOADS FO SEC. 2403.) DESIGN TO RESIST A V N AND DETAIL CONNECTION TO S IER AND BUILDING DEPARTMENT AREA OF AN INDIVIDUAL LIGHT S SEC. 2403). SS SHALL BE FIRMLY SUPPORTED FRAMING MEMBERS FOR EACH II CTION PERPENDICULAR TO THE C TO R 3/4, WHICHEVER IS LESS, W IVE LOAD WHEN THE LOADS ARE) D MEASURE ALL OPENINGS PRIO ERTIFICATE OF COMPLIANCE WILL GLAZING DENOTED WITH 'T' SYM PER CBC2406.2 & 2406.3; A PERMA OF SAFETY GLAZING ROVIDE SAFETY GLAZING IN THE L MARKED	WITH THE RI MAN IMPACT ACTURER'S S, DOORS AN OR CLADDING VIND LOAD O TRUCTURAL FOR APPRC HALL NOT EX O ON ALL FOU NDIVIDUAL G GLASS PLANI HEN SUBJEC COMBINED R TO FABRIC BE PROVIDI	EQUIREMENT SHALL CON LABEL DESIG ND OTHER EX AS SET FOF F 20 PSF. ST MEMBERS A VAL. (CEED THE L JR EDGES (C LASS PANE S E SHALL NOT CTED TO THE AS SPECIFIE FATION. ED FOR ALL 1 4" TEMPERE PER SECTIC	IFORM WITH GNATING TH XTERIOR AF RTH IN CBC OREFRONT ND SUBMIT IMITS AS SI CBC SEC. 24 SHALL BE D CECEED 1 EXCEED 1 EXCEED 1 EXCEED 1 EXCEED 1 EXCEED 1 CLR/TINT D CLR/TINT N 2406.2 SH	H CBC SECTIO HE TYPE AND T PPLICATIONS S CHAPTER 16, MANUFACTU TO STRUCTU ET FORTH IN (101.1) DESIGNED SO T /175 OF THE G DF THE POSITI ON A603.6 (CB) WINDOWS ED GLASS PAI HALL IDENTIFY
	FINISH SCHEDULE	- 9						



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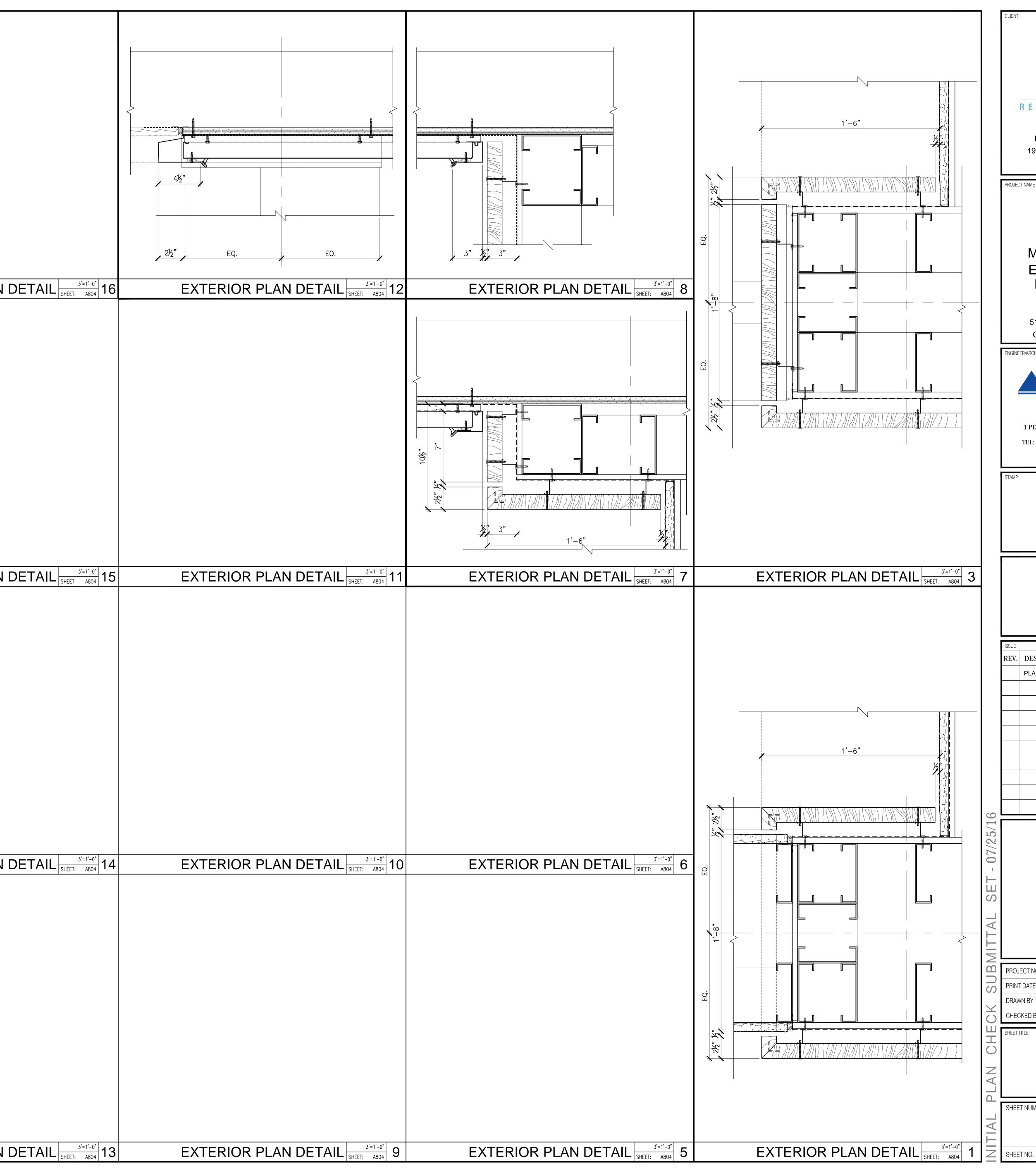


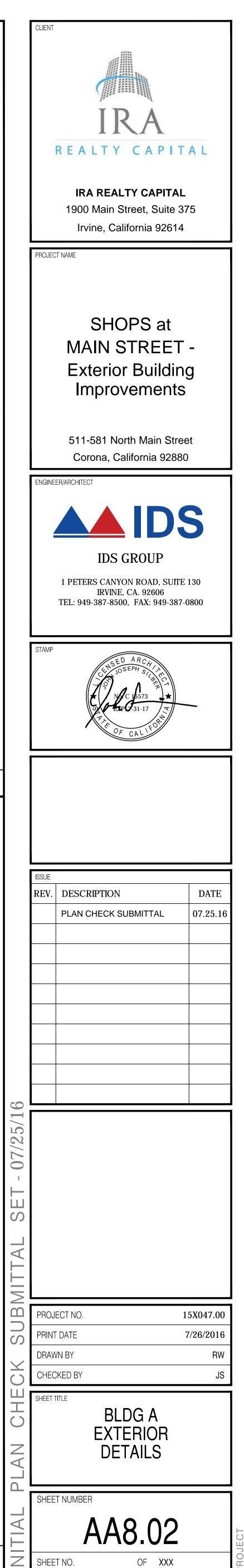




OF XXX

EXTERIOR PLAN DETAIL 3'=1'-0" SHEET: A804 20	EXTERIOR PLAN
SHEET: A804 - C	
EXTERIOR PLAN DETAIL 3'=1'-0" 19	EXTERIOR PLAN
EXTERIOR PLAN DETAIL SHEET: A804 18	EXTERIOR PLAN
EXTERIOR PLAN DETAIL SHEET: A804 17	EXTERIOR PLAN





SHORING REQUIREMENTS

- PROVIDE SHORING THAT WILL PROTECT THE EXISTING BUILDING FRAMING AND MAINTAIN THE LOCATION OF EXISTING FRAMING MEMBERS TO ALLOW THE REPAIR AND RECONSTRUCTION OF DAMAGED AND DETERIORATED FRAMING.
- 2. SHORING DESIGN SHALL BE PREPARED AND STAMPED BY A CALIFORNIA LICENSED ENGINEER.
- SHORING SHALL BE COMPATIBLE WITH THE EXISTING STRUCTURAL SYSTEM.
- 4. SHORING SHALL CARRY DEAD, LIVE, AND CONSTRUCTION LOADS FROM SUPPORTED ELEMENTS DOWN TO ADEQUATE SUPPORT ON GRADE. BEARING PRESSURE AT GRADE NOT TO EXCEED 1,000 PSF. DO NOT USE EXISTING STRUCTURE TO TRANSFER SHORING LOADS.
- 5. THE SHORING SHALL BE SOUND. RIGID AND CAPABLE OF CARRYING THE MAXIMUM INTENDED LOAD WITHOUT SETTLEMENT OR DISPLACEMENT.
- CONTRACTOR IS RESPONSIBLE FOR MONITORING ACCESS TO SHORED FRAMING TO ENSURE THAT THE LOAD LIMITS (INCLUDING WEIGHT OF PERSONNEL, AND THEIR EQUIPMENT, MATERIALS AND CONTENTS) IDENTIFIED BY THE SHORING DESIGN ARE ADHERED TO.
- WHEN TEMPORARY STORAGE OF MATERIAL, OR EQUIPMENT ON SHORED AREAS BECOMES NECESSARY SPECIAL CONSIDERATION SHALL BE GIVEN TO THESE AREAS AND THEY SHALL BE STRENGTHENED TO MEET THESE LOADS.
- PRIOR TO DEMOLITION, THE METHOD OF REPAIR SHALL BE EVALUATED TO INSURE THAT ADDITIONAL LOADS DUE TO EQUIPMENT, CUTTING, ETC., WILL NOT ADVERSELY AFFECT THE SHORING OR STRUCTURE.
- 9. SHORING DESIGN INCLUDING DRAWINGS AND CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO INSTALLATION.
- 10. A COPY OF THE SHORING LAYOUT SHALL BE AVAILABLE AND USED ON THE JOB SITE AT ALL TIMES.
- 11. SHORING EQUIPMENT SHALL BE ADEQUATELY ERECTED, BRACED AND MAINTAINED SO THAT IT WILL SAFELY SUPPORT ALL VERTICAL AND LATERAL LOADS THAT MIGHT BE APPLIED, UNTIL SUCH LOADS CAN BE SUPPORTED BY THE PRIMARY STRUCTURE
- 12. THE SHORING SETUP SHALL BE CHECKED BY THE CONTRACTOR WHO ERECTS THE SHORING EQUIPMENT TO DETERMINE THAT ALL DETAILS OF THE SHORING DESIGN INCLUDING LATERAL BRACING HAVE BEEN MET
- 13. ERECTED SHORING EQUIPMENT AND/OR ELEMENTS SHALL BE INSPECTED BY THE CONTRACTOR IMMEDIATELY PRIOR TO ANY DEMOLITION, DURING REPAIRS, AND UNTIL STRUCTURAL FRAMING IS COMPLETE
- 14. ANY ERECTED SHORING EQUIPMENT AND/OR ELEMENTS THAT IS DAMAGED OR WEAKENED SHALL BE IMMEDIATELY REMOVED AND REPLACED BY ADEQUATE SHORING.
- 15. SHORING AS REQUIRED ARE CONSIDERED MEANS AND METHODS OF CONSTRUCTION. SHORING DESIGN AND INSTALLATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL APPLICABLE RULES AND REGULATIONS.

REINFORCING STEEL

- OTHERWISE NOTED:
- 18.000 PSI.
- LESS THAN 1.25.
 - REQUIREMENTS.
 - YIELDING UNDER SEISMIC LOAD.
 - ABOVE.

 - PLACING OF CONCRETE.
 - CONCRETE IS PLACED.
 - BE IN ACCORDANCE WITH ASTM A305
 - ELECTRODES UNLESS OTHERWISE NOTED.

 - REQUIREMENTS OR CONSTRUCTABILITY.
 - CONSTRUCTION.

WOOD

MINIMUM SIZ	ZE FOR SQUARE PLATE WASHERS
BOLT SIZE	PLATE SIZE
1⁄2"	$\frac{3}{16}$ " × 2" × 2"
5% "	$\frac{1}{4}$ " × $2\frac{1}{2}$ " × $2\frac{1}{2}$ "
3⁄4"	$\frac{5}{16}$ " × $2\frac{3}{4}$ " × $2\frac{3}{4}$ "
7⁄8"	5∕16" × 3" × 3"
1"	3∕8" × 3½" × 3½"

- MINIMUM NAILING SCHEDULE AT CONNECTIONS.
- EQUAL.

- SHEATHING IS DISCONTINUOUS.

- VERIFY WITH ARCHITECTURAL DRAWINGS.
- WITH ZMAX (G185) COATING.

- THE SPACING PER CODE.
- 21. FIRE BLOCKING SHALL BE INSTALLED BETWEEN ALL WALL STUDS IF REQUIRED BY CODE.

ALL CONCRETE SHALL BE REINFORCED. REINFORCING STEEL SHALL BE NEW DEFORMED STEEL BARS CONFORMING TO ASTM A615, GRADE 60 UNLESS OTHERWISE NOTED.

2. ALL REINFORCING STEEL SHALL MEET THE FOLLOWING SPECIAL DUCTILITY REQUIREMENTS UNLESS

A. THE ACTUAL YIELD STRENGTH SHALL NOT EXCEED THE SPECIFIED YIELD STRENGTH BY MORE THAN B. THE RATIO OF THE ACTUAL ULTIMATE TENSILE STRESS TO THE ACTUAL YIELD STRENGTH SHALL NOT BE C. REINFORCING STEEL CERTIFIED AS ASTM A706 MAY BE ASSUMED TO COMPLY WITH THESE

D. SUBJECT TO THE ENGINEER'S WRITTEN APPROVAL, REINFORCING STEEL NOT MEETING THE SPECIAL DUCTILITY REQUIREMENTS SPECIFIED ABOVE MAY BE PERMITTED IN LOCATIONS NOT SUBJECT TO E. FOR BIDDING PURPOSES, ASSUME ALL ASTM-A615 STEEL MUST COMPLY WITH NOTES 2A AND 2B

REINFORCING STEEL SHALL BE FIRMLY SUPPORTED AND ACCURATELY PLACED.

COMPLETE REINFORCING STEEL PLACEMENT DRAWINGS SHALL BE PREPARED IN ACCORDANCE WITH ACI BY THE CONTRACTOR AND REVIEWED BY THE ENGINEER AND SHALL BE AVAILABLE ON THE JOB SITE PRIOR TO

ANCHOR BOLTS, DOWELS AND OTHER EMBEDDED ITEMS SHALL BE SECURELY TIED IN PLACE BEFORE

ALL REINFORCING STEEL TO BE WELDED SHALL CONFORM TO ASTM A706, GRADE 60. DEFORMATIONS SHALL

ALL WELDING OF REINFORCING STEEL SHALL CONFORM TO AWS D1.4 AND SHALL BE PERFORMED BY CERTIFIED WELDERS USING AWS A5.5 E-90XX (TABLE 5.1, AWS D1.4) LOW HYDROGEN MOISTURE RESISTING

8. NO HEATING SHALL BE ALLOWED FOR BENDING OF REINFORCING STEEL

TYPE 2 MECHANICAL COUPLERS WITH CURRENT ICC-ES EVALUATION REPORTS MAY BE USED AT THE CONTRACTOR'S DISCRETION IN LIEU OF LAP SPLICES, WELDING OR OTHER ACCEPTABLE MEANS FOR JOINING REINFORCING STEEL PROVIDING SUCH USE DOES NOT ADVERSELY AFFECT DESIGN INTENT, CODE

10. ALL MECHANICAL COUPLERS SHALL BE REVIEWED BY THE ENGINEER AND INSPECTED DURING

11. ALL REINFORCING STEEL INTERRUPTED BY STRUCTURAL STEEL SHALL TERMINATE WITHIN 1" OF THE STEEL SURFACE WITH A 90° STANDARD HOOK UNLESS OTHERWISE NOTED.

12. ACCEPTABLE REBAR COUPLER AND ANCHORAGE DEVICES:

WOOD MEMBERS SHALL BE DOUGLAS FIR-LARCH PER WCLIB OR WWPA, VISUALLY GRADED DIMENSION LUMBER AND SHALL BE SURFACED DRY (19% MOISTURE CONTENT MAXIMUM). ALL LUMBER SHALL BEAR THE GRADE STAMP OF AN APPROVED TESTING AGENCY, EXCEPT EXPOSAL LUMBER AT VISIBLE AREAS. STRUCTURAL FRAMING MEMBERS SHALL BE S4S AND GRADE MARKED AS No.1.

2. PLYWOOD SHEATHING SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF U.S. PRODUCT STANDARDS PS 1–95. STRUCTURAL USE PANELS SHALL CONFORM TO NER–108 (APA–PRP–108). EACH PANEL SHALL BE IDENTIFIED WITH THE APPROPRIATE A.P.A. GRADE STAMP.

ROOF SHEATHING SHALL BE FIVE PLY WITH THICKNESS AND PANEL INDEX AS INDICATED ON DRAWINGS. STAGGER SHEETS PER PLAN. ROOF NAILING SHALL BE PER SCHEDULE ON DRAWINGS. OR AS INDICATED ON NOTES. INSTALL SHEETS WITH FACE GRAIN ACROSS SUPPORTS EXCEPT WHERE NOTED OTHERWISE.

4. ROOF SHEATHING, NAILING AND INSTALLATION SHALL BE INSPECTED AND APPROVED PRIOR TO COVERING.

5. BOLTS SHALL CONFORM TO ASTM A307. ALL BOLTS THROUGH WOOD SHALL HAVE STANDARD WASHERS ALL BOLTS SHALL BE TIGHTENED PRIOR TO BEING COVERED. WHERE PLATE WASHERS ARE SHOWN ON THE DRAWINGS THEY SHALL BE AS FOLLOWS:

6. NAILS SHALL BE COMMON WIRE NAILS (0.131"øx2-1/2" FOR 8d; 0.148"øx3" FOR 10d; 0.148"øx3-1/4" FOR 12d; 0.162"øx3-1/2" FOR 16d) OR ACCESSORIES OF HARDWARE CONNECTORS. SEE CBC FOR

HARDWARE CONNECTORS AND ACCESSORIES SHALL BE SIMPSON STRONG-TIE CONNECTORS OR APPROVED

8. PLYWOOD NAILING SHALL HAVE A MINIMUM EDGE DISTANCE OF 3/8". NAIL HEADS SHALL BE FLUSH WITH TOP SURFACE OF PLYWOOD; SINKING NAIL HEADS IS PROHIBITED.

9. LAG SCREWS SHALL BE SCREWED, NOT DRIVEN, INTO WOOD MEMBER WITH PRE-DRILLED HOLES. PILOT HOLES: MATCH DIAMETER AND DEPTH PF SHANK; 75% OF THREADED PORTION.

10. ALL LUMDER IN DIRECT CONTACT WITH CONCRETE, MASONRY, OR EARTH, SHALL BE PRESSURE TREATED WOOD OR APPROVED EQUAL. PRESSURE TREATED WOOD SHALL BE TREATED WITH ALKALINE COPPER QUAT (ACQ-C AND ACQ-D), CARBONATE AZOLE (CBA-A), OR COPPER AZOLE (CA-B).

11. ALL LUMBER EXPOSED TO WEATHER SHALL BE PRESSURE TREATED LUMBER.

12. SOLID BLOCKING SHALL BE PLACED BETWEEN JOISTS AT POINTS OF SUPPORT AND POINTS WHERE

13. WOOD MEMBER WITH WANE SHALL NOT BE LOCATED AT PLYWOOD JOINT.

14. NO STRUCTURAL MEMBER SHALL BE CUT WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER.

15. HARDWARE CONNECTING WOOD MEMBERS SHALL BE RECESSED WHEN REQUIRED BY ARCHITECTURAL FINISH.

16. 0.229"x2"x2" STEEL PLATE WASHERS (OR SIMPSON BP) SHALL BE USED FOR ALL SILL PLATE ANCHOR BOLTS AND HOLDOWN CONNECTOR BOLTS UNLESS OTHERWISE NOTED. SIMPSON BP SHALL BE PROTECTED

17. ALL BOLTS SHALL BE RE-TIGHTENED JUST PRIOR TO BEING COVERED.

18. BOLT HOLES AT WOOD MEMBERS SHALL NOT BE MORE THAN 1/16" LARGER THAN THE BOLT DIAMETER. 19. ALL HARDWARE AND FASTENERS SHALL BE ZINC- COATED. ALL NAILS INTO TREATED SILL PLATES SHALL

BE HOT-DIPPED ZINC-COATED GALVANIZED OR SIMPSON ZMAX (G185) COATED NAILS. 20. SOLID BLOCKING OR EQUIVALENT CROSS-BRIDGING SHALL BE INSTALLED BETWEEN ALL ROOF JOISTS AT

TOLERANCE

1. PERMITTED TOLERANCE SHALL BE ACCORDING TO THE CBC.

MISCELLANEOUS STEEL

- THE CONTRACTOR SHALL SUBMIT ALL STRUCTURAL STEEL AND MISCELLANEOUS STEEL SHOP DRAWINGS TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION.
- MATERIAL TEST OR REPORTS FOR HOT-ROLLED STRUCTURAL SHAPES, PLATES, AND BARS SHALL BE MADE IN ACCORDANCE WITH ASTM A6. FOR SHEET MATERIAL, TEST SHALL BE MADE IN ACCORDANCE WITH ASTM A568. FOR TUBING AND PIPE, SUCH TEST SHALL BE MADE IN ACCORDANCE WITH REQUIREMENTS OF THE APPLICABLE ASTM STANDARDS.
- 3. STEEL MATERIALS SHALL CONFORM TO THE FOLLOWING, UNLESS OTHERWISE NOTED: A. ANGLES, PLATES AND BARS: ASTM A36 (Fy=36ksi, Fu=58ksi)
- B. W AND WT: ASTM A992 (Fy=50ksi, Fu = 65ksi) RECTANGULAR AND SQUARE HSS: ASTM A1085 (Fy=50ksi, Fu=65ksi) ROUND HSS: ASTM A1085 (Fy=50ksi, Fu=65ksi)
- PIPES: ASTM A53, GRADE B (Fy=35ksi, Fu=60ksi)
- BOLTS AT OTHER APPLICATIONS: ASTM A307 ANCHOR RODS: ASTM F1554, GRADE 36, U.N.O.
- THREADED RODS: ASTM A36
- NUTS: ASTM A563 J. WASHERS: ASTM F436
- 4. ALL WELDING OF STEEL SHALL CONFORM TO AWS D1.1 AND SHALL BE PERFORMED BY AWS CERTIFIED WELDERS USING E-70XX LOW HYDROGEN MOISTURE RESISTING ELECTRODES UNLESS OTHERWISE NOTED.
- 4. USE THE MINIMUM SIZE OF WELDS IN ACCORDANCE WITH AISC MANUAL OF STEEL CONSTRUCTION AT STEEL TO STEEL JOINTS UNLESS A LARGER WELDING SIZE IS SPECIFIED ON THE PLANS.
- ALL STEEL (EXCEPT STAINLESS STEEL) SHALL BE SHOP PRIMED WITH ZINC OXIDE PRIMER UNLESS OTHERWISE NOTED.
- 7. PAINT ALL STRUCTURAL STEEL WITH WEATHER/RUST RESISTANT PAINT UNLESS OTHERWISE NOTED.
- 8. DIAMETER OF BOLT HOLE SHALL BE 1/16" LARGER THAN THE BOLT'S DIAMETER UNLESS OTHERWISE NOTED.
- 9. IF DRILLING HOLES AT STEEL MEMBERS TO ACCOMMODATE THE CONCRETE OR MASONRY ANCHORS IS REQUIRED, THE DRILLING MUST BE DONE AFTER THE ANCHORS HAVE BEEN INSTALLED. THE HOLES AT STEEL MEMBERS SHALL MATCH THE LOCATION OF INSTALLED ANCHORS
- 10. PROVIDE BEVELED WASHERS ON SLOPING SURFACE OF CONNECTIONS FOR FULL BEARING.
- 11. WHERE LENGTH OF WELDING IS NOT SHOWN, IT SHALL BE FULL LENGTH OF JOINT. ALL BUTT WELDS SHALL BE COMPLETE PENETRATION WELDS UNLESS OTHERWISE NOTED.
- 12. MINIMUM BOLT SPACING FROM CENTER OF STANDARD AISC HOLE AS FOLLOWS, U.N.O.: = 3 BOLT DIAMETER CENTER-TO-CENTER = 1.5 BOLT DIAMETER CENTER-TO-ROLLED EDGE CENTER-TO-SHEARED EDGE = 1.75 BOLT DIAMETER
- 13. GALVANIZE ALL STEEL EXPOSED TO WEATHER, UNLESS OTHERWISE NOTED.
- 14. UNDER NO CIRCUMSTANCES SHALL DRAWINGS BE SCALED OR REFERENCE ELECTRONIC BUILDING INFORMATION BE USED TO DETERMINE ELEVATIONS OR DIMENSIONS.

CAST-IN-PLACE CONCRETE

- 1. PORTLAND CEMENT SHALL BE TYPE II UNLESS OTHERWISE NOTED.
- BOLT HOLES SHALL BE BORED $\frac{1}{32}$ " to $\frac{1}{16}$ " LARGER THAN THE BOLT DIAMETER UNLESS NOTED OTHERWISE. 2. ALL CONCRETE SHALL BE NORMAL WEIGHT (145 PCF) HARD ROCK TYPE UNLESS OTHERWISE NOTED AS LIGHTWEIGHT CONCRETE (115 PCF MAX.).
 - 3. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) AT 28 DAYS AS FOLLOWS, UNLESS **OTHERWISE NOTED:** A. ALL CONCRETE: 4,000 PSI
 - 4. CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY, BEARING A REGISTERED CIVIL ENGINEER'S STAMP, AND REVIEWED BY THE ENGINEER PRIOR TO USE.
 - MAXIMUM RATIO OF WATER TO CEMENTITIOUS MATERIALS, BY WEIGHT, SHALL BE 0.45 UNLESS OTHERWISE NOTED. USE MINIMUM 6 SACKS OF CEMENT PER CUBIC YARD OF CONCRETE.
 - 6. CONCRETE COVERAGE OF REINFORCING STEEL SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED: A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3" B. CONCRETE EXPOSED TO EARTH OR WEATHER: * #6 THROUGH #18 REBAR: 2"
 - * #5 REBAR, W31 OR D31 WIRE, AND SMALLER: 1.5"
 - C. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: * SLABS: 3/4"
 - ALL EXPOSED CONCRETE EDGES SHALL BE FORMED WITH A 3/4" CHAMFER UNLESS OTHERWISE NOTED.
 - 8. ALL NEW CONCRETE PLACED AGAINST HARDENED CONCRETE SHALL BE PREPARED PER THE FOLLOWING PROCEDURE:
 - A. ROUGHEN HARDENED SURFACE TO AN AMPLITUDE OF 1/4" WITH BUSH HAMMER. SAND BLASTING. OR
 - OTHER APPROVED METHOD. B. CLEAN SURFACES OF DUST AND DEBRIS USING CLEAN COMPRESSED AIR AND WATER.
 - C. SURFACE SHALL BE WETTED AND STANDING WATER REMOVED. D. REFER TO OTHER NOTES FOR DUST CONTROL DURING CONSTRUCTION.
 - 9. CURING COMPOUND USED ON CONCRETE SHALL BE REVIEWED BY THE ENGINEER.
 - 10. BONDING AGENT SHALL BE CHEMREX CONCRESIVE LIQUID LPL, OR SIKA ARMATEC 110 EPOCEM, OR APPROVED EQUAL AND SHALL BE APPLIED FOLLOWING THE MANUFACTURER'S RECOMMENDATIONS.
 - 11. THE NOMINAL MAXIMUM SIZE OF COARSE AGGREGATES SHALL BE 1" UNLESS OTHERWISE NOTED.
 - 12. ALL CRACKS WIDER THAN 1/64" IN NEW CONCRETE APPEARING WITHIN 6 MONTHS OF CONCRETE PLACEMENT SHALL BE REPAIRED USING EPOXY ADHESIVE INJECTION BY THE CONTRACTOR AT NO COST TO THE OWNER.

ALL EXISTING STRUCTURAL CONDITION NOTED AS (E) SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR BEFORE CONSTRUCTION. IF DIFFERS FROM WHAT IS SHOWN IS THESE DRAWINGS, NOTIFY THE ENGINEER OF RECORD & THE OWNER

GENERAL

1. THE SCOPE OF WORK FOR THIS PROJECT CONSISTS OF:

A. EXTERIOR MODIFICATIONS TO THREE COMMERCIAL ONE STORY TYPE V STRUCTURES.

LATERAL ANALYSIS DUE TO SEISMIC AND/OR WIND LOADS ON THE OVERALL STRUCTURE IS EXCLUDED FROM THIS PROJECT.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORK AREA DURING CONSTRUCTION PERIOD. THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTY AND UTILITIES IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL SAFETY ORDINANCES.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO PRIOR REVIEW BY THE ENGINEER.
- 4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. THE SUPPORTING SERVICES BY THE ENGINEER, WHETHER PERFORMED PRIOR TO, DURING, OR AFTER CONSTRUCTION, ARE PERFORMED SOLELY FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE WITH CONTRACT DRAWINGS AND PROJECT SPECIFICATIONS; BUT THEY DO NOT GUARANTEE THE CONTRACTOR'S PERFORMANCE AND SHALL NOT BE CONSIDERED AS SUPERVISION OF CONSTRUCTION.
- . SHOP DRAWINGS REQUIRED SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. DRAWINGS ARE REVIEWED BY THE ENGINEER FOR GENERAL CONFORMANCE TO THE DESIGN. REGARDLESS OF THE ENGINEER'S REVIEW. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR COMPLETE AND SATISFACTORY SUBMITTAL AND CONFORMANCE TO THE CONTRACT DOCUMENTS. SHOP DRAWINGS WILL BE REJECTED FOR INCOMPLETENESS, LACK OF CALCULATIONS (IF REQUIRED) OR CHANGES WITHOUT PRE-APPROVAL. ALL STRUCTURAL CALCULATIONS AND DRAWINGS AS PART OF THE SHOP DRAWINGS SUBMITTAL SHALL BE SIGNED AND STAMPED BY A CALIFORNIA REGISTERED ENGINEER.
- ANY PARTS OF WORK AREA WHICH ARE TO BE BARRICADED OR SEALED TO NON-CONSTRUCTION INDIVIDUALS MUST BE COORDINATED WITH AND APPROVED BY THE OWNER BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL EXERT EVERY EFFORT TO PREVENT DUST AND CONSTRUCTION DEBRIS FROM CONTAMINATING THE WORK AREA. THESE EFFORTS SHALL INCLUDE BUT NOT BE LIMITED TO PROVIDING A DAILY CLEANUP OF THE CONSTRUCTION AREA. THE CONTRACTOR SHALL REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- THE CONTRACTOR SHALL EXERT EVERY EFFORT TO MINIMIZE THE CONSTRUCTION NOISE AND DISTURBANCE DURING CONSTRUCTION.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE THE CONSTRUCTION SITE.
- 10. CUTTING, BORING, SAW-CUTTING OR DRILLING THROUGH STRUCTURAL MEMBERS OTHER THAN THOSE DETAILED ON STRUCTURAL DRAWINGS SHALL NOT BE DONE WITHOUT THE ENGINEER'S APPROVAL.
- 11. THE CONTRACTOR SHALL: A. CHECK ALL DIMENSIONS.
- B. BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
- 12. ALL MATERIALS, FEATURES OR CONDITIONS NOT IDENTIFIED AS (E) WHICH MEANS "EXISTING," SHALL BE CONSIDERED AS NEW AND PART OF THE PROJECT SCOPE OF WORK.
- 13. THE CONTRACTOR IS FULLY AND SOLELY RESPONSIBLE FOR ALL SHORING REQUIRED IN ORDER TO SAFELY ACHIEVE THE FINAL CONSTRUCTION SHOWN ON THE DRAWINGS. THIS INCLUDES, BUT IS NOT LIMITED TO. ANY TYPES OF SHORING REQUIRED FOR SOILS EXCAVATION AND BACKFILL WORK: SUPPORT OF STRUCTURAL ELEMENTS UNTIL THEY HAVE ACHIEVED THE NECESSARY STRENGTH TO PERFORM IN THE FINAL POSITION AND MANNER SHOWN ON THE DRAWINGS; AND SUPPORT OF STRUCTURAL ELEMENTS THAT ARE MODIFIED AND THEREBY REDUCED IN STRENGTH IN ANY WAY DURING CONSTRUCTION AS REQUIRED TO ACHIEVE THE FINAL CONSTRUCTION AS SHOWN ON THE DRAWINGS. ALL SHORING CALCULATIONS AND DRAWINGS SHALL BE STAMPED BY A CALIFORNIA REGISTERED ENGINEER AND SUBMITTED FOR REVIEW PRIOR TO PERFORMING THE WORK.
- 14. WHERE NOT INDICATED OTHERWISE, THE LATEST EDITION OF ALL CITED DOCUMENTS SHALL GOVERN.
- 15. THE TERM CBC IN THESE DRAWINGS MEANS 2013 CALIFORNIA BUILDING CODE, CALIFORNIA CODE OF REGULATIONS, TITLE 24, ALL PARTS AND VOLUMES.
- 16. ALL CONSTRUCTION AND WORKMANSHIP, INCLUDING MATERIALS, SHALL CONFORM TO THESE DRAWINGS, PROJECT SPECIFICATIONS, AND THE CBC.
- 17. PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE AND ADJACENT STRUCTURE, AND THEIR FINISHES AND UTILITIES, DURING CONSTRUCTION.
- 18. THE CONTRACTOR SHALL COORDINATE ALL UTILITY LOCATIONS WITH OTHER DRAWINGS AND SHALL CONDUCT A DETAILED SURVEY OF EXISTING UTILITIES TO IDENTIFY INTERFERENCES WITH THE NEW CONSTRUCTION. PROMPTLY NOTIFY THE ARCHITECT OF ANY INTERFERENCES PRIOR TO PERFORMING THE WORK
- 19. PROVIDE TWO COATS OF PAINT, COLOR AS DIRECTED BY OWNER.

DESIGN CRITERIA

DESIGN CONFORMS TO CBC.

- 1. LIVE LOADS: A. ROOF: 20 PSF
- 2. DEAD LOADS:
- A. SELF WEIGHT
- 3. WIND ANALYSIS: WIND LOADS ARE BASED ON ASCE 7-10 SECTION 29.4 WITH THE FOLLOWING FACTORS:

V	=	110	MPH	(85	MPH	ASD)
Kz	=	0.85)			
Kzt	=	1.0				
Kd	=	0.85)			
G	=	0.85)			
Cf	=	1.42				

DESIGN WIND PRESSURE AND FORCES ON COMPONENTS AND CLADDING SHALL BE DETERMINED IN ACCORDANCE WITH CBC SECTION 1609A BY THE CALIFORNIA STATE REGISTERED PROFESSIONAL ENGINEER WHO IS RESPONSIBLE FOR THE DESIGN OF SUCH ELEMENTS. UNLESS NOTED OTHERWISE ON THE DRAWINGS.

4. SEISMIC ANALYSIS: EQUIVALENT LATERAL FORCE PROCEDURE

SITE CLASS D SEISMIC DESIGN CATEGORY D

a_n= 1.0

 $S_s = 1.871$ g $S_1 = 0.725 \text{ g}$ $F_0 = 1.0$ Fv = 1.5 $S_{DS} = 1.247 \text{ g}$ $S_{D1} = 0.725 \text{ g}$ BUILDING "A" EXTERIOR: CANTILEVER COLUMN: R = 2.5Cd = 2.5 $\Omega_0 = 1.25$ EXTERIOR NON-STRUCTURAL ELEMENT | = 1.0R= 2.5

IRA REALTY CAPITA IRA REALTY CAPITA 1900 Main Street, Suite 375 Irvine, California 92614	
PROJECT NAME	
SHOPS at MAIN STREET - Exterior Building Improvements	
Corona, California 92880 ENGINEER/ARCHITECT	
IDS GROUP 1 PETERS CANYON ROAD, SUITE 13 IRVINE, CA 92606 TEL: 949-387-8500, FAX: 949-387-080	0
STAMP	
DATE SIGNED: 07-25-2016	
ISSUE REV. DESCRIPTION PLAN CHECK SUBMITTAL 0 I I	DATE 07.25.16
KEY PLAN	
	(047.00 26/2016 CN JR, YC
SHEET TITLE GENERAL NOTES	
SHEET NUMBER SO.1	

ABBREVIATIONS

0	AT	LAT.	LATERAL
&	AND	L.B.	LAG BOLT
A.B.	ANCHOR BOLT	LB (#)	POUND
ABV.	ABOVE	L.F.	LINEAL FEET (FOOT)
ADD'L. (ADDL.)	ADDITIONAL	LLH LLV	LONG LEG HORIZONTAL LONG LEG VERTICAL
ADJ.		LT. WT.	LIGHT WEIGHT
ALT.			
ARCH.	APPROXIMATE(LY) ARCHITECT(URAL)	MAX.	MAXIMUM
ARCH.	ARCHITECT(ORAL)	M.B.	MACHINE BOLT
BLDG.	BUILDING	MFR.	MANUFACTURER
BLKG.	BLOCKING	MIN. MISC.	MINIMUM MISCELLANEOUS
BLW.	BELOW	MTSC. MTL.	METAL
BM.	BEAM		
B.N. BNDRY.	BOUNDARY NAILING BOUNDARY	(N)	NEW
BOT. (B)	BOTTOM	NO. (#)	NUMBER
BRCG.	BRACING	N.T.S.	NOT TO SCALE
BRDG.	BRIDGE (ING)		
BRG.	BEARING	0/C (0.C.)	ON CENTER
BTWN.	BETWEEN	O.H. OPNG.	OPPOSITE HAND OPENING
		OPP.	OPPOSITE
CBC	CALIFORNIA BUILDING CODE		
C.I.P.	CAST-IN-PLACE	PCF	POUNDS PER CU.FT.
C.J.	CONTROL JOINT;	PL.	PLATE
	CONSTRUCTION JOINT	PLYWD. P.P.	ΡΙΥΨΟΟD βαρτιλι - ρενετρατιών
C.L. (€)	CENTER LINE	P.P. P.S.F.	PARTIAL-PENETRATION POUNDS PER SQUARE FOOT
CLG.	CEILING	P.S.I.	POUNDS PER SQUARE INCH
CLR.	CLEAR	P.T.	PRESSURE TREATED
COL. CONC.	COLUMN CONCRETE		
CONC.	CONNECTION	QTY.	QUANTITY
CONST.	CONSTRUCTION		
CONT.	CONTINUOUS	RAD. (R) REF.	RADIUS REFERENCE
C.P.		REINF.	REINFORCEMENT (ING)
CTSK.		REQ'D. (REQD.)	REQUIRED
CTR.	CENTER(ED)	RF.	ROOF
d	d PENNY NAIL		
DBL.	DOUBLE	S.A.D.	SEE ARCHITECTURAL DRAWINGS
DEPT.	DEPARTMENT	SCH.	SCHEDULE
D.F.	DOUGLAS FIR	SEP. SHT.	SEPARATION SHEET
DIA. (Ø)	DIAMETER	SIM.	SIMILAR
DIAG.	DIAGONAL	S.O.G.	SLAB-ON-GRADE
DIAPH. DIM.	DIAPHRAGM DIMENSION	SQ.	SQUARE
DN.	DOWN	ST	SNUG-TIGHTENED
DSA	DIVISION OF THE STATE	STD.	STANDARD
	ARCHITECT	STAGG.	STAGGER(ED)
DWG. (DWGS.)	DRAWING(S)	STL.	STEEL
DWL.	DOWEL	STRUC(T).	STRUCTURAL
EA.	EACH	T&B	TOP AND BOTTOM
E.F.	EACH FACE	T&G	TONGUE AND GROOVE
E.J.	EXPANSION JOINT	THK.	THICK(NESS)
EL.	ELEVATION	T.N.	TOE NAIL
EMB.	EMBED(MENT)	T.O.	TOP OF
E.N.	EDGE NAIL	T.O.C. T.O.S.	TOP OF CONCRETE TOP OF STEEL;
ENG.	ENGINEER	1.0.0.	TOP OF SHEATHING
EQ. EQPT.	EQUAL EQUIPMENT	T.O.W.	TOP OF WALL
EXP.	EXPANSION	T.S.G.	TAPERED STEEL GIRDER
EXIST. (E)	EXISTING	TYP.	TYPICAL
EXT.	EXTERIOR		
		U.O.N. (U.N.O.)	UNLESS OTHERWISE NOTED
FDN.	FOUNDATION	U.U.N. (U.N.U.) V.I.F.	VERIFY IN FIELD
FIN.	FINISH(ED)	· · · · · ·	
FLR. F.N.	FLOOR FIELD NAIL; FACE NAIL		
F.N. F.O.C.	FACE OF CONCRETE		
F.O.M.	FACE OF MASONRY		
F.O.S.	FACE OF STUD		
F.O.W.	FACE OF WALL		
F.P.	FULL (COMPLETE) PENETRATION		
FT. (')	FOOT (FEET)		
FTG.			
F.V.	FIELD VERIFY		
GA.	GAUGE		
GALV.	GALVANIZE(D)		
GLB.	GLU-LAM/GLULAM		
	GLUED LAMINATED BEAM		
GRD.	GRADE		

NAILING

NAI	AILING						
	CONNECTION	FASTENING ^{a, m}	LOCATION				
1.	JOIST TO SILL OR GIRDER	3 – 8d COMMON (2½" × 0.131")	TOENAIL				
2.	BRIDGING TO JOIST	2 – 8d COMMON (2½" x 0.131")	TOENAIL EACH END				
3.	BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3 - 8d COMMON (2½" x 0.131")	TOENAIL				
4.	CEILING JOISTS TO PLATE	3 – 8d COMMON (2½" x 0.131")	TOENAIL				
5.	WIDER THAN 1" x 8" SHEATHING TO EACH BEARING	3 – 8d COMMON (2½" x 0.131")	FACE NAIL				
6.	2" PLANKS	16d COMMON (3½" x 0.162")	AT EACH BEARING				
7.	ROOF RAFTER TO 2-BY RIDGE BEAM	2 – 16d COMMON (3½" × 0.162") 2 – 16d COMMON (3½" × 0.162")	TOENAIL FACE NAIL				
8.	LEDGER STRIP	3 – 16d COMMON (3½" × 0.162")	FACE NAIL AT EACH JOIST				
9.	WOOD STRUCTURAL PANELS AND PARTICILEBOARD ^b SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	$\frac{1}{2}$ " AND LESS $6d^{c,1}$ $\frac{19}{32}$ " TO $\frac{3}{4}$ " $8d^{d}$ OR $6d^{e}$ $\frac{7}{8}$ " TO 1" 10 d^{d} OR $8d^{e}$ $1\frac{1}{8}$ " TO $1\frac{1}{4}$ " 10 d^{d} OR $8d^{e}$					
10.	PANEL SIDING (TO FRAMING)	½" AND LESS 6d ^f 5⁄8" 8d ^f					
11.	INTERIOR PANELING	¼" 4d ^j ¾" 6d ^k					

a. COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.

b. NAILS SPACED AT 6 INCHES ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING. c. COMMON OR DEFORMED SHANK (6d – 2" x 0.113"; 8d – $2\frac{1}{2}$ " x 0.131"; 10d – 3" x 0.148").

d. COMMON (6d - 2" x 0.113"; 8d - $2\frac{1}{2}$ " x 0.131"; 10d - 3 x 0.148").

e. DEFORMED SHANK (6d - 2" x 0.113"; 8d - $2\frac{1}{2}$ " x 0.131"; 10d - 3" x 0.148").

f. CORROSION-RESISTANT SIDING (6d - $1\frac{7}{8}$ " x 0.106"; 8d - $2\frac{3}{8}$ " x 0.128") OR CASING (6d - 2" x 0.099"; 8d - $2\frac{1}{2}$ " x 0.113") NAIL.

g. FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED AS STRUCTURAL SHEATHING. SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS FOR NON-STRUCTURAL APPLICATIONS.

h. CORROSION-RESISTANT ROOFING NAILS WITH 7_{16} -INCH-DIAMETER HEAD AND 1 $m 1_2$ -INCH LENGTH FOR $m 1_2$ -INCH SHEATHING AND $1\frac{3}{4}$ -INCH LENGTH FOR $2\frac{5}{32}$ -INCH SHEATHING.

i. CORROSION-RESISTANT STAPLES WITH NOMINAL $\frac{1}{16}$ -INCH CROWN OR 1-INCH CROWN AND $\frac{1}{4}$ -INCH LENGTH FOR $\frac{1}{2}$ -INCH SHEATHING AND $1\frac{1}{2}$ -INCH LENGTH FOR $2\frac{5}{32}$ -INCH SHEATHING. PANEL SUPPORTS AT 16 INCHES (20 INCHES IF STRENGTH AXIS IN THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).

j. CASING $(1\frac{1}{2})^{*} \times 0.080^{*}$) or finish $(1\frac{1}{2})^{*} \times 0.072^{*}$) nails spaced 6 inches on panel edges, 12 inches at interediate SUPPORTS. k. PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE

SUPPORTS. I. FOR ROOF SHEATHING APPLICATIONS, 8d NAILS $(2\frac{1}{2}$ " x 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.

m. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF $\frac{7}{16}$ INCH. n. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.

o. FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUB-FLOOR AND WALL SHEATHING AND 3 INCHES ON CENTER AT EDGES, 6 INCHES AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING.

p. FASTENERS SPACED 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS. q. CEILING JOIST AND RAFTER CONSTRUCTION SHALL BE IN ACCORDANCE WITH CBC SECTION 2308.10.

STEEL STUDS, JOISTS AND ACCESSORIES

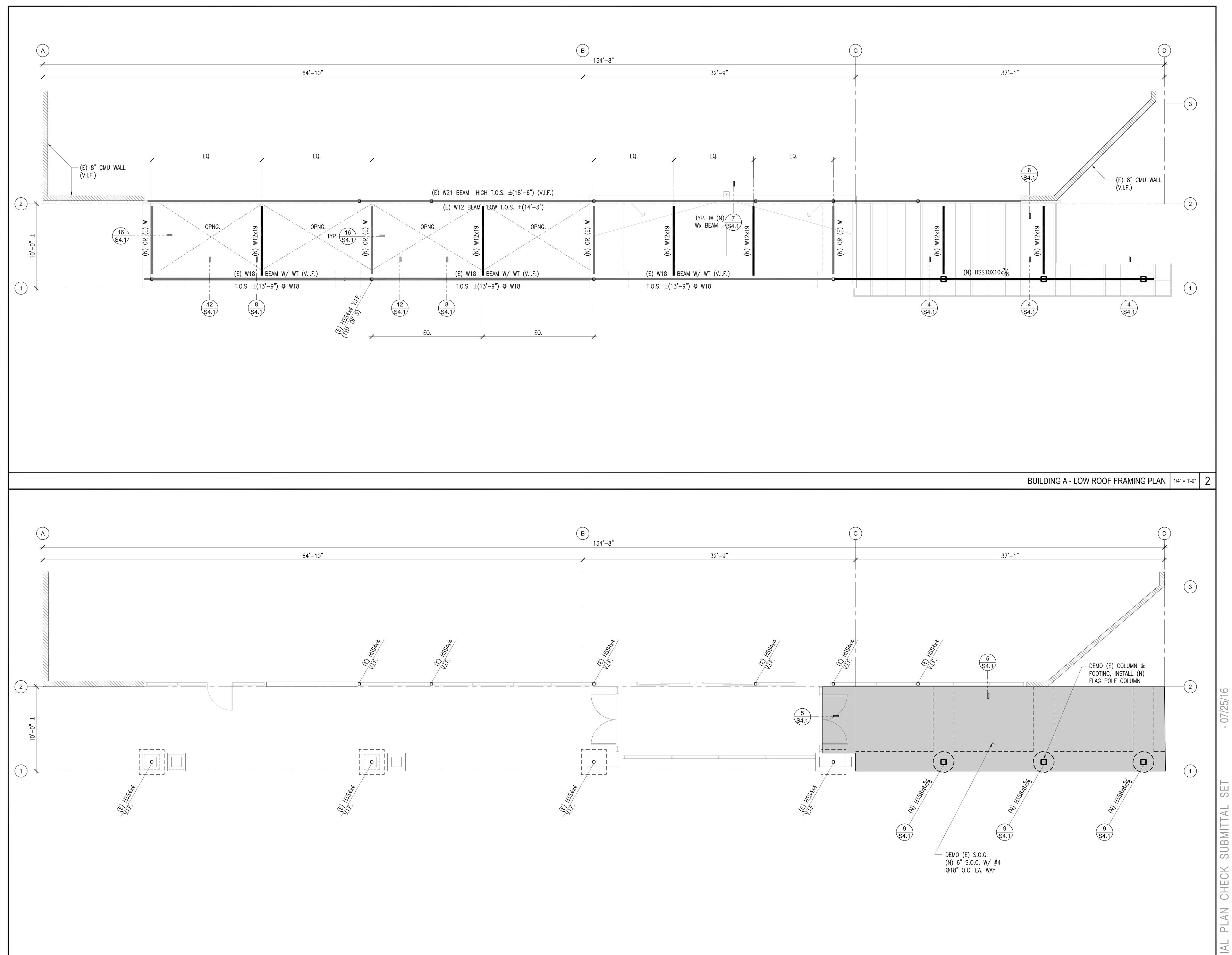
- 1. STEEL STUDS, JOISTS AND ACCESSORIES SHALL BE MANUFACTURED BY MEMBERS OF STEEL STUD MANUFACTURER'S ASSOCIATION (SSMA) (ICBO ER-4943P) OR APPROVED EQUAL.
- 2. STEEL STUDS, JOISTS AND ACCESSORIES SHALL BE FORMED FROM STEEL WITH A MINIMUM YIELD STRESS OF 50 KSI FOR 16 GAUGE AND HEAVIER ITEMS, OR 33 KSI FOR 18 GAUGE AND LIGHTER ITEMS.
- 3. STEEL STUDS, JOISTS AND ACCESSORIES SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A525, G60, UNLESS OTHERWISE NOTED.
- 4. ALL WELDS OF GALVANIZED STEEL STUDS, JOISTS AND ACCESSORIES SHALL BE TOUCHED up with a zinc-rich paint. 🕅 🛛 🕅 (R)
- 5. ALL SCREWS SHALL BE PRO-TWIST MARKER AND DARTS HILTI KWIKPRO SDS SELF-DRILLING TAPPING SCREWS (ICC ESR-1408, OR APPROVED EQUAL) WITH SPACING AND EDGE DISTANCE NOT LESS THAN $3 \times d$ (d = NOMINAL SCREW DIAMETER).
- 6. PENETRATION OF SCREWS THROUGH JOINED MATERIALS SHALL NOT BE LESS THAN 3 EXPOSED THREADS. SCREWS SHALL BE INSTALLED AND TIGHTENED IN ACCORDANCE WITH SCREW MANUFACTURER'S RECOMMENDATIONS.

7. SHEET METAL WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS D1.3. ELECTRODES SHALL CONFORM TO AWS A5.1 OR A5.5 AND TABLE 5.1 OF AWS D1.3.

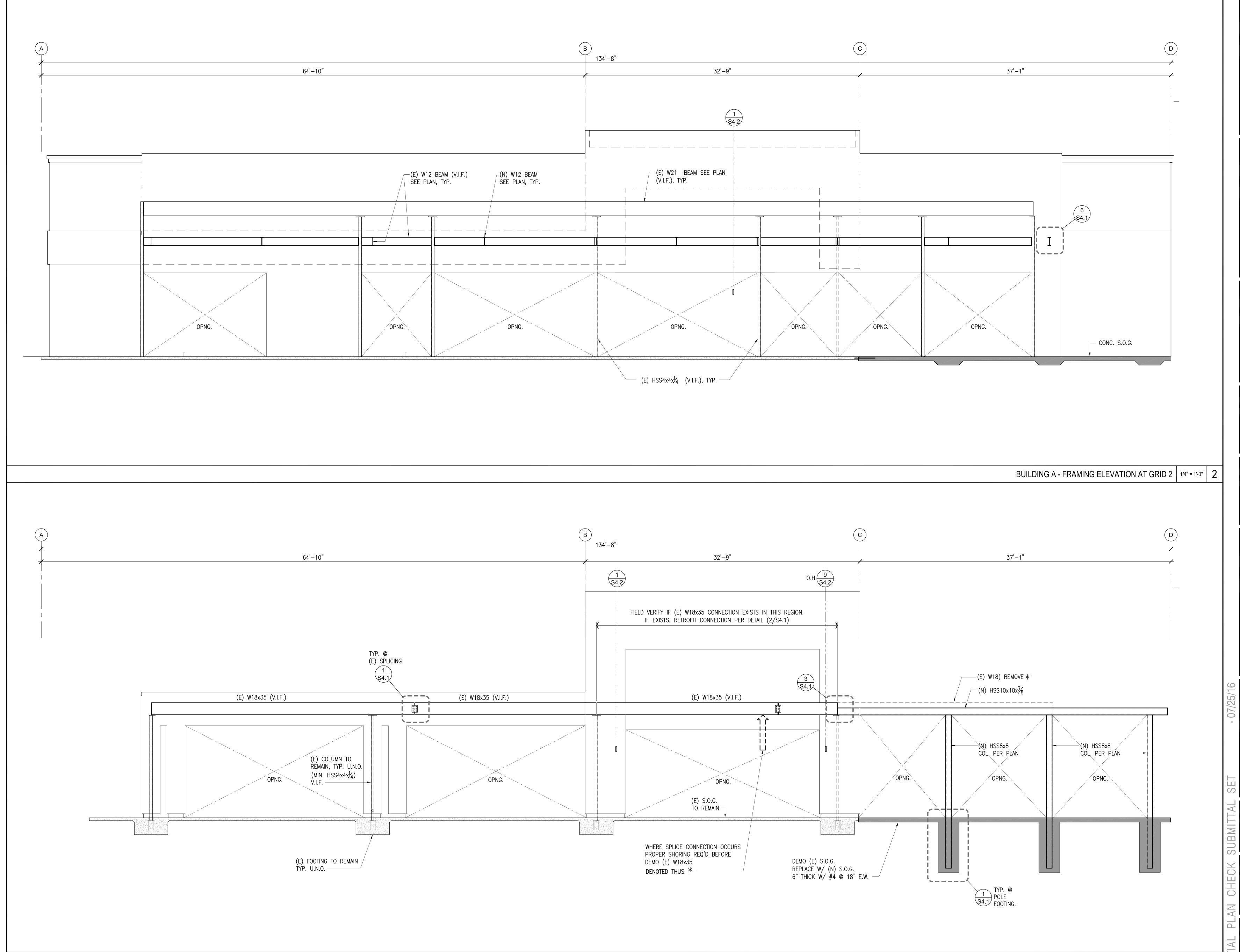
8. <u>STUD AND JOIST PROPERTIES SHALL BE AS FOLLOWS:</u>

•	JIUD AND C		JIALL DL AJ	<u>10220W3.</u>		
	<u>GAUGE</u> 20	<u>YIELD STRESS</u> 33 KSI	<u>SIZE</u> 2½ 35% 4 6	DESCRIPTION 250S162-33 362S162-33 400S162-33 600S162-33	<u>Sx (IN.3)</u> 0.180 0.292 0.332 0.577	<u>Ix (IN.4)</u> 0.235 0.551 0.692 1.793
	18	33 KSI	3 ⁵ ⁄8 4 6 8	362S162-43 400S162-43 600S162-43 800S162-43	0.389 0.443 0.767 1.158	0.710 0.892 2.316 4.633
	16	50 KSI	3 ⁵ /8 4 6 8	362S200-54 400S200-54 600S200-54 800S200-54	0.509 0.580 1.002 1.475	1.030 1.292 3.319 6.573
	TRACK PROP	ERTIES SHALL BE A	AS FOLLOWS:			
	<u>GAUGE</u> 20	<u>YIELD STRESS</u> 33 KSI	<u>SIZE</u> 2 ¹ /2 3 ⁵ /8 4 6	DESCRIPTION 250T200-33 362T200-33 400T200-33 600T200-33	<u>Sx (IN.3)</u> 0.112 0.190 0.220 0.333	<u>Ix (IN.4)</u> 0.203 0.464 0.581 1.542
	18	33 KSI	35/8 4 6 8	362T200-43 400T200-43 600T200-43 800T200-43	0.270 0.311 0.565 0.741	0.649 0.811 2.076 4.230
	16	50 KSI	3 ⁵ /8 4 6 8	362T200-54 400T200-54 600T200-54 800T200-54	0.345 0.397 0.717 0.962	0.832 1.037 2.641 5.353

CLIENT		
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3	REALTY CAPIT	AL
	IRA REALTY CAPITAL 1900 Main Street, Suite 37 Irvine, California 92614	75
PROJEC	CT NAME	
	SHOPS at MAIN STREET	_
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ENGINE	ER/ARCHITECT	
4		
	IDS GROUP	
	1 PETERS CANYON ROAD, SUITE IRVINE, CA 92606	
	TEL: 949-387-8500, FAX: 949-387-0)800
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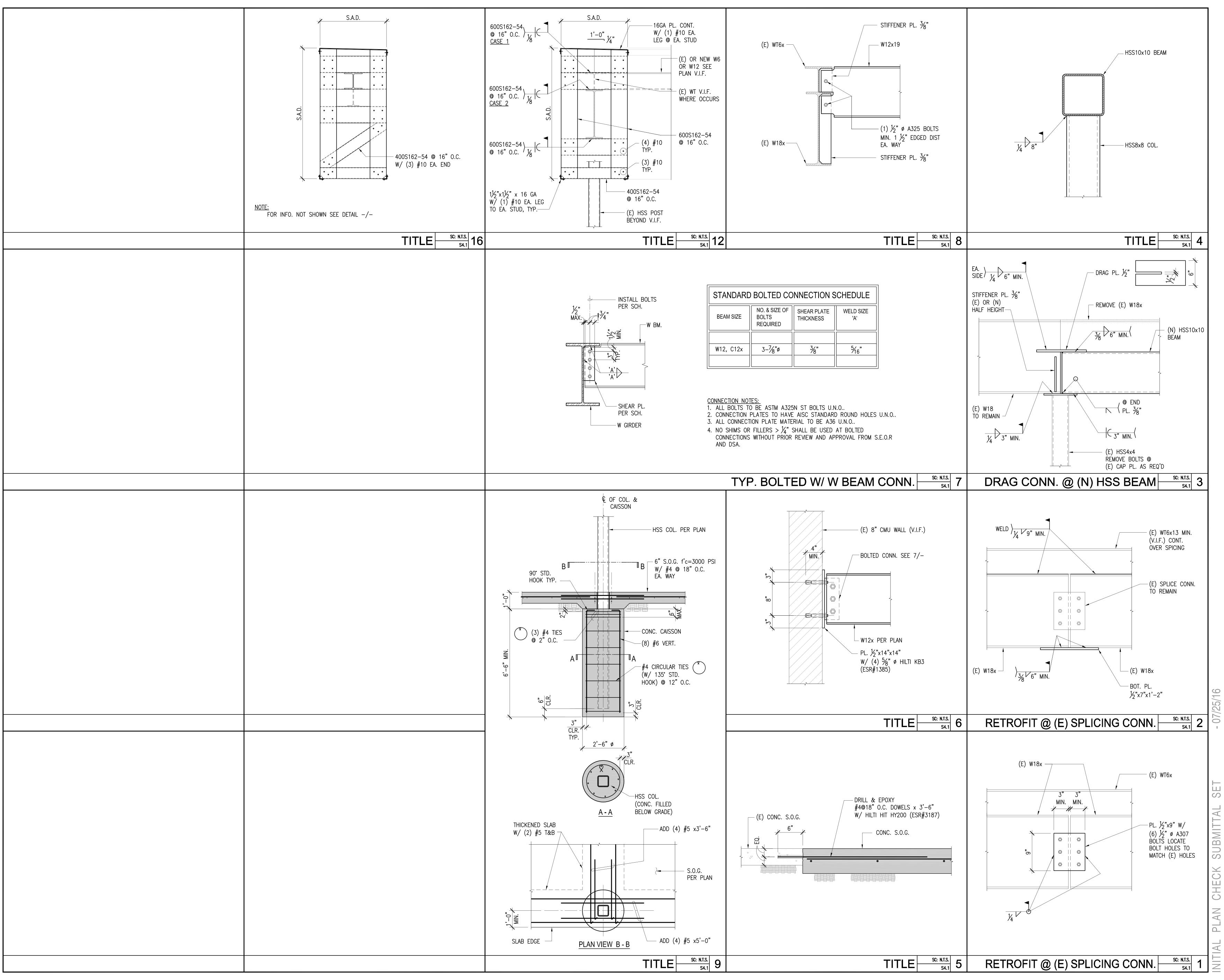


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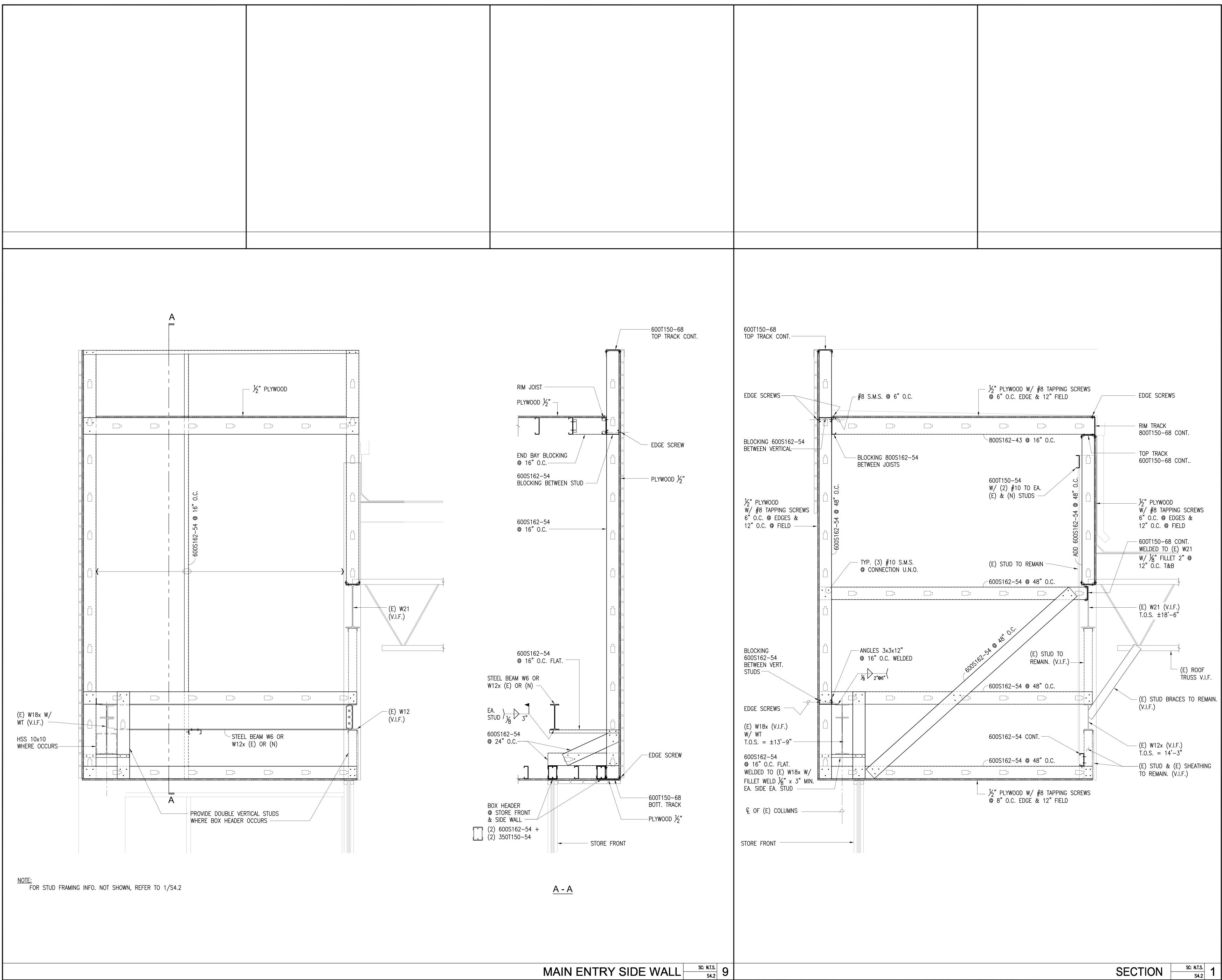
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	IDS GROUP			
	1 PETERS CANYON ROAD, SUITE IRVINE, CA 92606			
	TEL: 949-387-8500, FAX: 949-387-0	0800		
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SHOPS at MAIN STREET - Exterior Building Improvements				
Corona, California 92880 ENGINEER/ARCHITECT				
IDS GROUP 1 PETERS CANYON ROAD, SUITE 130 IRVINE, CA 92606 TEL: 949-387-8500, FAX: 949-387-0800				
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