

SHOPS at MAIN STREET

exterior building improvements

581 N. MAIN STREET, CORONA, CA 92880

BUILDING 'A'



SHOPS at MAIN STREET INITIAL PLAN CHECK SUBMITTAL SET 7.25.16 (IDS #15.X047.00)



1 PETERS CANYON ROAD, SUITE 130
IRVINE, CA 92606

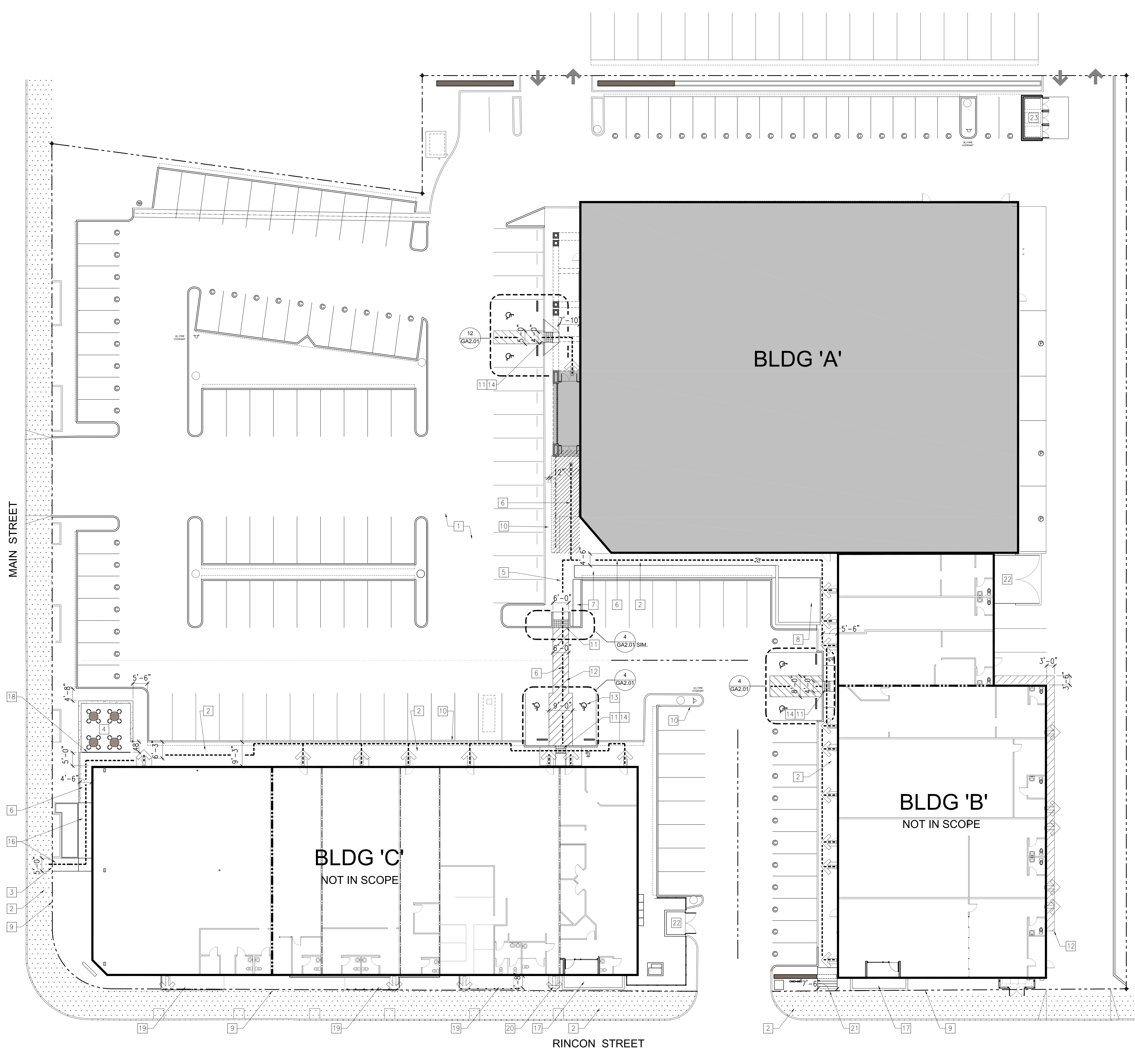
www.idsgi.com

TEL: 949-387-8500, FAX: 949-387-0800



7.25.2016
PLAN CHECK SUBMITTAL SET

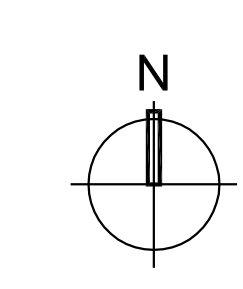
BUILDING 'A'
#B1601395



- KEY NOTES:**
- 1 PROPOSED RESURFACING OF EXISTING PAVED DRIVE AISLE & PARKING AREA
 - 2 EXISTING CONCRETE PEDESTRIAN WALK
 - 3 PROPOSED NEW ACCESSIBLE ENTRANCE TO THE SITE
 - 4 PROPOSED NEW SEATING AREA
 - 5 PROPOSED NEW CONCRETE PEDESTRIAN WALK
 - 6 PROPOSED NEW ACCESSIBLE PATH OF TRAVEL (MIN. 4' CLEAR)
 - 7 PROPOSED NEW PLANTER AREA
 - 8 EXISTING OPEN AREA
 - 9 PROPERTY LINE
 - 10 EXISTING CONCRETE CURB
 - 11 PROPOSED NEW ZERO CURB
 - 12 EXISTING PAINT STRIPPING
 - 13 PROPOSED NEW INTERNATIONAL SYMBOL OF ACCESSIBILITY, TYP. - SEE 8/GA2.01, VEHICLE STALL
 - 14 PROPOSED NEW TACTILE WARNING DEVICE, SEE 7/GA2.01
 - 15 PROPOSED NEW CONCRETE WHEEL STOP, SEE 9/GA2.01
 - 16 PROPOSED NEW ACCESSIBLE SLOPED WALKWAY (5% MAX.)
 - 17 PROPOSED NEW ENCLOSED OUTDOOR AREA
 - 18 PROPOSED NEW 36" HIGH WROUGHT IRON FENCE, PAINTED
 - 19 EXISTING SERVICE RAMP @ REAR OF TENANT SPACE
 - 20 EXISTING SERVICE DOOR @ REAR OF TENANT SPACE
 - 21 PROPOSED NEW CONCRETE STEPS
 - 22 EXISTING TRASH ENCLOSURE TO REMAIN
 - 23 PROPOSED NEW TRASH ENCLOSURE, SEE SHEET GA2.02

- GENERAL NOTES:**
- SEE ADA SHEETS FOR ADDITIONAL NOTES AND DIMENSIONS, TYP.
1. ALL DIMENSIONS ARE FROM FACE OF FINISH U.N.O.
 2. -

- LEGEND:**
- INDICATES PEDESTRIAN PUBLIC RIGHT-OF-WAY
 - INDICATES DEMARCATION OF EGRESS PATH
 - INDICATES ACCESSIBLE PATH OF TRAVEL
 - INDICATES MEANS OF BUILDING EGRESS



CLIENT

IRA REALTY CAPITAL
1900 Main Street, Suite 375
Irvine, California 92614

PROJECT NAME

**SHOPS at
MAIN STREET -
Exterior Building
Improvements**

511-581 North Main Street
Corona, California 92880

ENGINEER/ARCHITECT

IDS GROUP
1 PETERS CANYON ROAD, SUITE 130
IRVINE, CA, 92606
TEL: 949-387-8500, FAX: 949-387-0800

STAMP

REV.	DESCRIPTION	DATE
1	PLAN CHECK SUBMITTAL	07.25.16

KEY PLAN

PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	GD/MH
CHECKED BY	JS.

SHEET TITLE

**MEANS OF EGRESS
&
ACCESSIBILITY PLAN**

SHEET NUMBER

GA1.04

INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

PROJECT

GENERAL NOTES

GENERAL ELECTRICAL DEMOLITION NOTES:

1. IT IS UNDERSTOOD AND AGREED THAT THIS CONTRACT DOES NOT CONTEMPLATE THE HANDLING OF ASBESTOS, PCB OR ANY HAZARDOUS WASTE MATERIAL. IF ASBESTOS, PCB OR ANY HAZARDOUS WASTE MATERIAL IS ENCOUNTERED, NOTIFY THE ARCHITECT IMMEDIATELY. DO NOT DISTURB, HANDLE OR ATTEMPT TO REMOVE.
2. SUBMIT PROPOSED OUTAGE SCHEDULE. PROVIDE A SEQUENCE OF DEMOLITION TO INSURE THE UNINTERRUPTED USE OF OCCUPIED PORTIONS OF THE FACILITY WHICH ARE TO REMAIN OPERATIONAL DURING THE CONTRACT PERIOD.
3. SYSTEM OUTAGES SHALL BE PERMITTED ONLY AT TIMES APPROVED BY OWNER. IN WRITING. WORK WHICH COULD RESULT IN AN ACCIDENTAL OUTAGE (BEYOND BRANCH CIRCUITS) SHALL BE PERFORMED WITH THE OWNER'S MAINTENANCE PERSONNEL ADVISED OF SUCH WORK.
4. PRIOR TO DEMOLITION OF ANY CONDUIT, CIRCUIT, EQUIPMENT, ETC., IDENTIFY IN THE FIELD THE LOAD SERVED TO VERIFY THAT REMOVAL WILL NOT INTERFERE WITH EXISTING OPERATIONS. WHERE IT IS DETERMINED THAT AN IMPACT WILL OCCUR, NOTIFY THE FACILITY ENGINEER.
5. EXISTING ELECTRICAL OUTLETS LOCATED ON PARTITIONS TO BE DEMOLISHED ARE TO BE REMOVED, INCLUDING ALL CONDUIT AND WIRING BACK TO THEIR RESPECTIVE ELECTRICAL PANELS. PATCH AND REPAIR (AS REQUIRED) IN FIRE-RATED ASSEMBLIES ONLY.
6. REMOVE ALL CABLE IN CEILING BACK TO SOURCE OF DATA COMMUNICATION CLOSETS, AS REQUIRED.
7. ALL CONDUIT AND CONDUCTORS THAT ARE REMOVED UNDER DEMOLITION WORK SHALL NOT BE REUSED.
8. ALL ELECTRICAL OUTAGES TO OTHER EXISTING SPACES OR EQUIPMENT NECESSARY TO COMPLETE THE WORK UNDER THIS PROJECT SHALL BE SCHEDULED IN WRITING (IN ADVANCE) WITH THE OWNER'S REPRESENTATIVE.

ELECTRICAL DEMOLITION NOTES:

THE SCOPE OF DEMOLITION ELECTRICAL WORK SHALL INCLUDE, BUT IS NOT LIMITED TO THE FOLLOWING:

1. PERFORM CUTTING AND PATCHING OF THE CONSTRUCTION WORK WHICH MAY BE REQUIRED FOR THE PROPER DEMOLITION OF THE ELECTRICAL WORK. PATCHING SHALL BE OF THE SAME MATERIAL, THICKNESS, WORKMANSHIP AND FINISH AS EXISTING AND ACCURATELY MATCH SURROUNDING WORK TO THE SATISFACTION OF THE ARCHITECT. CUTTING OF STRUCTURAL MEMBERS SHALL NOT BE DONE WITHOUT FIRST OBTAINING APPROVAL FROM THE ARCHITECT AND/OR STRUCTURAL ENGINEER OF RECORD.
2. PATCHING OF OPENINGS IN RATED PARTITIONS, BARRIERS, FLOORS, CEILINGS, ETC. SHALL BE EXECUTED USING UL AND NFPA FIRE STOP MATERIAL EQUAL TO THE FIRE RATINGS OF THE PENETRATED SURFACE.
3. WHERE MATERIALS AND EQUIPMENT HAVE BEEN REMOVED AND NOT REPLACED THE EXPOSED SURFACE SHALL BE PAINTED TO MATCH SURROUNDING SURFACE COLOR.
4. AS INDICATED, DISCONNECT AND REMOVE EXISTING LIGHTING FIXTURES, LIGHTING CONTROL DEVICES, HARDWARE, SUPPORT DEVICES AND ASSOCIATED RACEWAYS, CONDUCTORS AND OUTLET BOXES. WHERE OUTLET BOXES ARE FLUSH AND CONDUITS ARE CONCEALED IN EXISTING REMAINING WALLS, REMOVE WIRING AND ABANDON CONDUIT IN PLACE.
5. AS INDICATED, DISCONNECT AND REMOVE EXISTING ELECTRICAL EQUIPMENT, DISCONNECT SWITCHES, RECEPTACLES, MOUNTING HARDWARE AND ASSOCIATED RACEWAYS, CONDUCTORS AND OUTLET BOXES. WHERE OUTLET BOXES ARE FLUSH AND CONDUITS ARE CONCEALED IN EXISTING REMAINING WALLS, REMOVE WIRING AND ABANDON CONDUIT IN PLACE.
6. EXCEPT AS NOTED OTHERWISE DISCONNECT AND REMOVE EXISTING FIRE ALARM SYSTEM, DEVICES, MOUNTING HARDWARE AND ASSOCIATED RACEWAYS, CONDUCTORS AND OUTLET BOXES. WHERE OUTLET BOXES ARE FLUSH AND CONDUITS ARE CONCEALED IN EXISTING REMAINING WALLS, REMOVE WIRING AND CONDUITS COMPLETE.
7. EXCEPT AS NOTED OTHERWISE DISCONNECT AND REMOVE EXISTING TELEPHONE, AUDIO VISUAL SYSTEM EQUIPMENT, OUTLETS, BACKBOARDS AND ASSOCIATED RACEWAYS, CABLING AND OUTLET BOXES. WHERE OUTLET BOXES ARE FLUSH AND CONDUITS ARE CONCEALED IN EXISTING REMAINING WALLS, REMOVE CABLING AND CONDUIT. MAIN TELEPHONE SERVICE BACKBOARD AND EQUIPMENT TO REMAIN UNLESS OTHERWISE NOTED.
8. EXCEPT AS NOTED OTHERWISE DISCONNECT AND REMOVE EXISTING DATA SYSTEM EQUIPMENT, OUTLETS, BACKBOARDS AND ASSOCIATED RACEWAYS, CABLING AND OUTLET BOXES.
9. WHERE OUTLET BOXES ARE FLUSH AND CONDUITS ARE CONCEALED IN EXISTING REMAINING WALLS, REMOVE CABLING AND ABANDON CONDUIT IN PLACE.
10. EXCEPT AS NOTED OTHERWISE REMOVE EXISTING TIME SWITCHES CONTACTORS, RELAYS AND ASSOCIATED CONDUITS AND CONDUCTORS CONTROLLING LIGHTING COMPLETE.
11. THE CONTRACTOR SHALL FIELD VERIFY EXISTING EQUIPMENT, DEVICES, AND/OR CIRCUITS THAT ARE REMAINING. CIRCUITS SHALL BE RECONNECTED TO NEW OR EXISTING POWER DISTRIBUTION EQUIPMENT AND FUNCTION IN THE MANNER THEY WERE ORIGINALLY DESIGNED. PROVIDE ADDITIONAL EQUIPMENT, DEVICES, OUTLET BOXES, CONDUIT, WIRING, ETC. AS REQUIRED TO RESTORE CONTINUITY TO THESE CIRCUITS.
12. WHERE FIXTURES, EQUIPMENT, DEVICES, ETC. ARE SPECIFIED BY THE CONTRACT DOCUMENTS FOR REMOVAL, THE CONTRACTOR SHALL REMOVE ALL CIRCUIT CONDUCTORS/CABLING BACK TO THE NEAREST REMAINING JUNCTION BOX AND/OR POINT OF TERMINATION OR POWER SOURCE.
13. WHERE IT IS NOT FEASIBLE TO REMOVE UNUSED FLUSH MOUNTED OUTLET BOXES AND CONCEALED RACEWAYS IN EXISTING, REMAINING WALLS AND/OR CEILINGS REMOVE ALL WIRING AND PROVIDE BLANK COVER PLATES OVER OUTLET BOXES.
14. ALL CONDUITS RISING FROM BELOW GRADE TO AREAS WHERE PARTITIONS, WALLS, AND/OR OTHER CONSTRUCTION ENTITIES ARE INDICATED AS BEING REMOVED SHALL BE CUT TO BELOW FINISH FLOOR, CAPPED AND ABANDONED. PROVIDE PATCHING AS REQUIRED. SEAL IN A MANNER ACCEPTABLE TO THE ARCHITECT.
15. COVER UNUSED AND/OR ABANDONED OUTLETS WITH BLANK COVER PLATES.
16. SEAL ALL ABANDONED FLOOR PENETRATIONS IN A MANNER ACCEPTABLE TO THE ARCHITECT/OWNER.
17. DISCONNECT ABANDONED CIRCUITS AT EXISTING PANELBOARDS AND REMOVE WIRE TO LAST REMAINING DEVICE. LABEL ALL ABANDONED CIRCUIT BREAKERS "SPARE".
18. REFER TO THE MECHANICAL/PLUMBING DRAWINGS AND SPECIFICATIONS FOR EQUIPMENT TO BE REMOVED. DISCONNECT AND REMOVE EXISTING SAFETY/DISCONNECT SWITCHES, CONDUIT, CONDUCTORS, OUTLET BOXES, CONTROL DEVICES, RELAYS, ELECTRICAL MOUNTING HARDWARE, ETC. FOR THE PROPER DEMOLITION OF THE EQUIPMENT INDICATED FOR REMOVAL.
19. DISCONNECT AND REMOVE ELECTRICAL DEVICE IN POKE THRU TO INCLUDE ALL WIRING BACK TO SOURCE. PROVIDE A BLANK COVER PLATE AND ABANDON ALL CONDUIT IN PLACE.
20. DISCONNECT AND REMOVE ELECTRICAL DEVICES TO INCLUDE WIRING AND CONDUIT BACK TO SOURCE IN IMPROVEMENT AREAS.
21. DISCONNECT AND REMOVE EXISTING RECEPTACLE DEVICES AND ALL ASSOCIATED

GENERAL MECHANICAL DEMOLITION NOTES:

1. BEFORE STARTING DEMOLITION, PROVIDE NECESSARY PROTECTIVE DEVICES WHERE REQUIRED AND IN STRICT ACCORDANCE WITH CAL. BUILDING CODE REGULATIONS.
2. ALL EQUIPMENT THAT IS REMOVED AND NOT REUSED SHALL BE RETURNED TO THE OWNER.
3. TAKE NECESSARY PRECAUTIONS TO PREVENT DUST AND DIRT MIGRATING TO OCCUPIED AREAS OF THE BUILDING. THIS INCLUDES PROVIDING CONSTRUCTION FILTERS AT OPENRESTRICTED SUPPLY OR EXHAUST AIR GRILLES/DUCTS IN THE AREA.
4. REMOVE AIR TERMINALS, MECHANICAL EQUIPMENT, AND DUCTWORK THAT SOLELY SERVICES THE IMPROVEMENT AREA.
5. REMOVE THERMOSTATS, CONTROL WIRE, CONDUIT, SUPPLY/RETURN PIPING, ETC. THAT ARE NO LONGER NEEDED WITHIN THE DEMO AREA.
6. PROVIDE TEMPORARY CONTROL AND/OR PIPING IF REQUIRED TO MAINTAIN THE SYSTEM FUNCTION OUTSIDE THE DEMO AREA.
7. DEMOLISH CONDENSATE DRAINS, DRAIN PANS AND OVERFLOW DRAINS IN AREA OF IMPROVEMENTS. INSTALL NEW COPPER CONDENSATE DRAIN AND P-TRAP AND CONNECT TO EXISTING.
8. DEMOLISH WIRING BACK TO FUSED DISCONNECT. REPLACE EXISTING FUSED DISCONNECT. INSTALL NEW WIRE AND CONDUIT TO UNIT.
9. REPAIR ANY DAMAGE TO FIREPROOFING DUE TO INSTALLATION OF THIS WORK.

GENERAL PLUMBING DEMOLITION NOTES:

1. REMOVE & EXPOSE OF ALL PLUMBING FIXTURES, TRIM, PIPING BRACKETS, AND HANGERS IN THEIR ENTIRETY AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. WASTE PIPING SHALL BE REMOVED TO POINT OF PENETRATION OF THE FLOOR SLAB - PROVIDE A CLOSURE AND SEAL THE PIPE AT THAT POINT. ALL WASTE/SOIL PIPES SHALL BE CAPPED GAS TIGHT.
2. REMOVE EXISTING INTERIOR WATER PIPING AND APPURTENANCES COMPLETE. CUT AND CAP INSIDE WALL AND/OR ENTRY INTO DEMO / REMODEL SPACE.
3. REMOVE VENT PIPING COMPLETELY. CLOSE AND SEAL BELOW CEILING SLAB, UNLESS NEEDED TO MAINTAIN PROPER VENTING FROM BASEMENT SEWAGE PIPING.
4. THE INTENT OF THE DEMOLITION ON THIS PROJECT IS THE REMOVAL OF ALL PLUMBING SYSTEMS WITHIN THE LOCATION AND SUPPORT OF THE IMPROVEMENT AREA AND WHERE NOTED.
5. THE PLUMBING CONTRACTOR SHALL REFER TO ALL SECTIONS AND DRAWINGS OF THE CONTRACT DOCUMENTS FOR DEMOLITION OF PLUMBING SYSTEM COMPONENTS INCLUDED IN THE PLUMBING CONTRACT. NOTIFY THE ARCHITECT OF ALL DISCREPANCIES OR QUESTIONS PERTAINING TO EXTENT OF WORK PRIOR TO BIDDING.
6. VERIFY EXTENT OF PIPING, EQUIPMENT, COMPONENTS AND CONTROLS TO BE RETAINED OR REUSED PRIOR TO THE DEMOLITION OF SPECIFIC SYSTEM. PROTECT ITEMS WHICH ARE TO BE REUSED ON SITE TO MINIMIZE POST CONSTRUCTION REPAIRS. ANY ITEMS WHICH ARE DAMAGED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE CONTRACT.

GENERAL ELECTRICAL NOTES:

1. ELECTRICAL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE NECA INSTALLATION STANDARDS TO THE SATISFACTION OF THE ARCHITECT AND ENGINEER.
2. RACEWAY SYSTEMS ARE SHOWN DIAGRAMMATICALLY. ACTUAL LOCATION AND ROUTING OF ALL, SHALL BE DETERMINED BY CONTRACTOR TO SUIT FIELD CONDITIONS.
3. CONTRACTOR SHALL PROVIDE ALL RACEWAY SYSTEMS INDICATED ON THE DRAWING PER NEC REQUIREMENTS AND GENERAL NOTES. ANY DEVIATION FROM THE WIRING METHODS INDICATED SHALL BE ALLOWED ONLY BY SPECIFIC WRITTEN APPROVAL FROM EITHER THE ARCHITECT, ENGINEER OR OWNER. CONTRACTOR'S BID SHALL INCLUDE ALL COSTS FOR RACEWAY SYSTEMS AS SPECIFIED UNLESS SPECIFIC WRITTEN APPROVAL FOR AN ALTERNATIVE WIRING METHOD IS OBTAINED FROM EITHER THE ARCHITECT, ENGINEER OR OWNER AND IS SUBMITTED AS PART OF CONTRACTOR'S FORMAL BID PROPOSAL.
4. PROVIDE APPROVED EXPANSION FITTINGS WHERE RACEWAYS CROSS BUILDING EXPANSION JOINTS. PROVIDE BONDING JUMPER(S) SIZED PER CODE WHERE REQUIRED. PROVIDE ALL FITTINGS REQUIRED FOR A COMPLETE INSTALLATION. REFER TO ARCHITECTURAL DRAWINGS FOR EXPANSION JOINT LOCATION(S).
5. CONTRACTOR SHALL PROVIDE PULL CORDS IN ALL EMPTY CONDUITS, WHERE MORE THAN ONE CONDUIT TERMINATES IN A JUNCTION BOX. THE CONTRACTOR SHALL IDENTIFY EACH CONDUIT AND JUNCTION BOX IN A MANNER ALLOWING IDENTIFICATION AFTER ALL WALL FINISHES HAVE BEEN APPLIED.
6. VERIFY DEVICE COLOR AND MOUNTING ORIENTATION (VERTICAL OR HORIZONTAL) WITH ARCHITECTURAL AND INTERIOR DESIGN DRAWINGS PRIOR TO ORDERING ANY EQUIPMENT AND PROVIDE DEVICES AS REQUIRED. UNLESS NOTED OTHERWISE, DEVICES AND DEVICE PLATES SHALL BE WHITE IN COLOR.
7. ALL PENETRATIONS OF FIRE RESISTIVE FLOORS OR WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DIAGRAMS THAT CONFORM TO UL LISTING FOR "THROUGH-PENETRATION FIRE STOP SYSTEMS".
8. CONTRACTOR SHALL ENGAGE THE SERVICES FOR A STATE LICENSED FIRE ALARM MANUFACTURER/INSTALLER TO PREPARE ALL DESIGN DRAWINGS AND CALCULATIONS REQUIRED FOR SYSTEM APPROVAL BY THE AUTHORITY HAVING JURISDICTION. SUBMIT ALL PLANS AND PROVIDE ALL PERMITS REQUIRED FOR A COMPLETE AND OPERABLE APPROVED LIFE SAFETY SYSTEM.
9. UPON COMPLETION OF THE INSTALLATION OF LIFE SAFETY SYSTEM WIRING AND DEVICES, A PERFORMANCE TEST OF THE ENTIRE LIFE SAFETY SHALL BE PERFORMED TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION.
10. ALL EQUIPMENT ELECTRICAL TERMINATIONS TO UNDERGO A TORQUE TEST. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR MANUFACTURER'S RECOMMENDED TORQUE DOCUMENTATION AND TOOLS TO PERFORM TORQUE TEST.
11. COORDINATE ELECTRICAL REQUIREMENTS FOR ALL PLUMBING AND MECHANICAL EQUIPMENT WITH FINAL CONTRACTOR SELECTION. THE CONTRACTOR SHALL SIZE DISCONNECTS BASED UPON CIRCUIT BREAKER RATINGS AND PROVIDE FUSING AS REQUIRED PER EQUIPMENT MANUFACTURER RECOMMENDATIONS AND U.L. LISTING REQUIREMENTS.
12. ALL ELECTRICAL SYSTEMS SHALL BE TESTED FOR PROPER OPERATION. IF TESTS SHOW THAT WORK IS DEFECTIVE, CONTRACTOR SHALL MAKE ALL NECESSARY CORRECTIONS AT NO ADDITIONAL COST TO OWNER.


GENERAL MECHANICAL NOTES:

1. FITTINGS SHALL UTILIZE RADIUS ELBOWS. RECTANGULAR BRANCH TAKEOFFS SHALL HAVE 45 DEGREE ENTRY. ROUND BRANCH TAKEOFFS SHALL USE CONICAL SPIN-INS.
2. MARK CEILING T-BAR WITH COLORED DOTS AT LOCATIONS OF HEAT PUMPS, DAMPERS & CONTROLS.
3. CONDUCTORS SHALL BE INSTALLED TO MATCH EXISTING CONDITIONS.
4. FITTINGS SHALL UTILIZE RADIUS ELBOWS. RECTANGULAR BRANCH TAKEOFFS SHALL HAVE 45 DEGREE ENTRY. ROUND BRANCH TAKEOFFS SHALL USE CONICAL SPIN-INS.
5. ALL NEW CONDUIT SHALL BE EMT W/ FITTINGS TO MATCH EXISTING CONDITIONS.
6. COORDINATE LOCATIONS OF SENSORS, THERMOSTATS AND OTHER DEVICES WITH ENGINEER AND OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. TEMPERATURE SENSORS MOUNTED ON EXTERIOR WALLS SHALL HAVE INSULATED BACKS. AVOID LOCATIONS NEAR EXTERIOR DOORS OR IN DIRECT SUNLIGHT. MOUNTING HEIGHT PER ADA. IN FINISHED AREAS WHERE DEVICES ARE REMOVED. PATCH AND FINISH TO MATCH EXISTING SURROUNDING MATERIALS AND COLORS.
7. COORDINATE THE CEILING TYPES AND DO NOT INSTALL WORK THAT REQUIRES ACCESS (JUNCTION BOXES, VALVES, DEVICES, ETC.) ABOVE INACCESSIBLE CEILINGS. IF IT IS NECESSARY TO INSTALL SUCH WORK ABOVE AN INACCESSIBLE CEILING, PROVIDE ACCESS PANELS AS REQUIRED TO PERMIT ACCESS. COORDINATE ACCESS PANEL LOCATIONS WITH THE ASSOCIATED EQUIPMENT LOCATIONS. SHOW ACCESS PANELS ON SHOP DRAWINGS. INSTALL ACCESS PANELS IN WALLS OR CEILINGS AS SHOWN ON ARCHITECTURAL PLANS OR AS DIRECTED BY THE ARCHITECT.
8. KEEP ACCESS TO MECHANICAL UNITS CLEAR.
9. PROVIDE 1" DIAMETER COLORED STICKER ON CEILINGS TO INDICATE LOCATIONS OF CONTROLLERS, FIRE DAMPERS, BALANCING DAMPERS AND FAN COILS ABOVE CEILINGS. SHOP DRAWINGS SHALL INCLUDE A LEGEND FOR COLOR CODE.
10. PROVIDE SUPPORT STEEL, HANGERS, VIBRATION ISOLATION, AND ACCESSORIES REQUIRED TO INSTALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. DO NOT SUPPORT CEILINGS, LIGHTING FIXTURES, OR ANY OTHER DEVICES FROM DUCTWORK, PIPES, OR ELECTRICAL CONDUIT. UNLESS OTHERWISE NOTED, DO NOT ALLOW DUCTWORK, PIPES, OR CONDUIT TO DIRECTLY CONTACT THE BUILDING STRUCTURE, CEILING SYSTEM, LIGHT FIXTURES, ANY OTHER BUILDING SYSTEM COMPONENT, OR EACH OTHER.
11. VERIFY THAT EQUIPMENT AND MATERIAL TO BE INSTALLED IN THE RETURN AIR PATH IS RATED FOR USE IN THE RETURN AIR PATH AND MEETS REQUIREMENTS OF THE APPLICABLE CODES AND REGULATIONS. SUPPLY AND RETURN AIR PLENUMS SHALL BE OF NON-COMBUSTIBLE CONSTRUCTION, SEALED AIRTIGHT, AND CONFORM TO ALL APPLICABLE CODE REQUIREMENTS. MATERIALS SHALL HAVE A MOLD, HUMIDITY, AND EROSION RESISTANT FACE THAT MEETS THE REQUIREMENTS OF UL181. COMBUSTIBLE MATERIALS EXPOSED WITHIN THE PLENUM MUST HAVE, FLAME-SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED RATING OF NOT MORE THAN 50.
12. PROVIDE CODE APPROVED FIRE STOPPING AT PENETRATIONS THROUGH BUILDING CONSTRUCTION TO ACHIEVE FIRE, SMOKE, AND SOUND RATINGS AS REQUIRED.
13. INSTALL EQUIPMENT IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
14. PROVIDE EQUIPMENT SUITABLE FOR THE INTENDED PURPOSE.
15. ALL WIRING DIAGRAMS ARE SHOWN FOR CONTROL SEQUENCE AND FUNCTION ONLY. IT REMAINS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO INSURE THAT THE ELECTRICAL PORTION OF THIS WORK IS INSTALLED PER CODE.
16. PERFORM SYSTEM COMMISSIONING, CLEANING, SERVICING, BALANCING, TESTING, AND CERTIFICATION REQUIRED BY THE DOCUMENTS, CODE, LOCAL AUTHORITY HAVING JURISDICTION, AND AS RECOMMENDED BY THE EQUIPMENT MANUFACTURERS, PRIOR TO OCCUPANCY.
17. UPON COMPLETION OF TESTING, OPERATE EQUIPMENT TO VERIFY THAT ALL SYSTEMS FUNCTION PROPERLY. AFTER VERIFYING THE PROPER OPERATION, DEMONSTRATE THE OPERATION OF SYSTEMS AND EQUIPMENT TO THE OWNER'S REPRESENTATIVES. PROVIDE 48 HOURS NOTICE AND SCHEDULE THE DEMONSTRATION WITH THE OWNER.
22. CONTROL WIRING NOTES
 - A. PRIME CONTRACTOR IS RESPONSIBLE FOR:
 - POWER WIRING AND CONDUIT.
 - CONTROL WIRING AND CONDUIT.
 - B. PROVIDE POWER AS REQUIRED FOR CONTROL DEVICES.

GENERAL PLUMBING NOTES:

1. IF EQUIPMENT, FIXTURES, AND MATERIAL, IS NOT SPECIFIED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND PROVIDE REVISED UTILITIES AND SERVICE CONNECTIONS THAT MATCH EXISTING CONDITIONS AS REQUIRED TO COMPLETE THE WORK. THIS INCLUDES BUT IS NOT LIMITED TO REVISED POWER, WATER, CONTROLS, HYDRONICS, WASTE DRAINS, FUEL FLUES AND VENT REQUIREMENTS.
2. IF EQUIPMENT, FIXTURES, AND MATERIAL, OTHER THAN THAT SCHEDULED OR SPECIFIED, IS APPROVED AND PROVIDED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND PROVIDE REVISED UTILITIES AND SERVICE CONNECTIONS AND VERIFY THE SPACE ALLOTTED FOR ADEQUACY AND CLEARANCE REQUIREMENTS. THIS INCLUDES BUT IS NOT LIMITED TO REVISED POWER, WATER, CONTROLS, HYDRONICS, WASTE DRAINS, FUEL FLUES AND VENT REQUIREMENTS.
3. INSTALL SHUT OFF VALVES AT EACH FIXTURE. INSTALL BRANCH SHUTOFF VALVES WHERE INDICATED ON PLANS. LOCATE AND ORIENT VALVE OPERATORS FOR EASE OF ACCESS AND FULL LIMITS OF OPERATION.
4. INSULATION AND VAPOR BARRIER SHALL BE PROVIDED ON ALL PIPING AND/OR EQUIPMENT SUBJECT TO HEAT LOSS, CONDENSATION, OR CONSTITUTING A POTENTIAL BURN HAZARD.
5. INSULATION SHALL NOT BE CRUSHED OR COMPRESSED THROUGH INTERFERENCE WITH SYSTEMS INSTALLED BY OTHER TRADES OR BUILDING CONSTRUCTION.
6. INSTALL PLUMBING AND PIPING HIGH POINTS AS TIGHT AS POSSIBLE TO THE BUILDING STRUCTURE TO ALLOW PROPER PITCH AND MAXIMIZE CEILING HEIGHT.
7. PROVIDE AIR VENTS AT PIPING HIGH POINTS AND DRAINS AT LOW POINTS IN MAINS.
8. THE INSTALLATION OF PLUMBING SYSTEMS SHALL IN NO WAY CRUSH OR COMPROMISE BUILDING INSULATION.
9. ALL PIPING SHALL BE CONCEALED IN WALLS AND BEHIND FIXED FURNISHINGS UNLESS OTHERWISE INDICATED. EXPOSED PIPING IN FINISHED AREAS SHALL BE CHROME PLATED WITH A CHROME PLATED ESCUTCHEON AT EACH FINISHED ENTRY/EXIT.
10. ALL PIPING SHALL BE RUN PARALLEL TO BUILDING LINES AND BESUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION. ALL PIPING SHALL BE CONCEALED EXCEPT IN UNFINISHED SPACES. INSTALL AS REQUIRED TO MEET ALL CONSTRUCTION CONDITIONS AND TO ALLOW FOR INSTALLATION OF OTHER WORK INCLUDING DUCTS AND ELECTRICAL CONDUIT. ALL PIPING EXPOSED TO VIEW SHALL BE REBROUED AS HIGH AS POSSIBLE AND TO THE UNDERSIDE OF STRUCTURE.
11. ELEVATIONS LISTED FOR ALL PLUMBING SYSTEM PIPING IN THE CONTRACT DOCUMENTS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION AGAINST EXISTING CONDITIONS, UTILITIES AND NEW CONSTRUCTION. ALL SLOPED PLUMBING SYSTEMS SHALL HAVE RIGHT OF WAY OVER ALL OTHER BUILDING SYSTEM COMPONENTS.
12. ALL EXISTING BUILDING AND SITE FEATURES NOT BEING ALTERED BY THIS PROJECT ARE TO BE PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ALL DAMAGE OCCURRING TO EXISTING CONSTRUCTION CAUSED BY THE CONTRACTOR'S OPERATIONS AT HIS/HER EXPENSE TO THE COMPLETE SATISFACTION OF THE OWNER.
13. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL WORK UNDER HIS/HER CONTRACT WITH ALL OTHER BUILDING TRADES.

CLIENT



IRA REALTY CAPITAL
1900 Main Street, Suite 375
Irvine, California 92614

PROJECT NAME

**SHOPS at
MAIN STREET -
Exterior Building
Improvements**


511-581 North Main Street
Corona, California 92880

ENGINEER/ARCHITECT




IDS GROUP
1 PETERS CANYON ROAD, SUITE 130
IRVINE, CA, 92606
TEL: 949-387-8500, FAX: 949-387-0800

STAMP



ISSUE		
REV.	DESCRIPTION	DATE
	PLAN CHECK SUBMITTAL	07.25.16
Δ		

KEY PLAN



PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	MC/SL
CHECKED BY	JS

SHEET TITLE

**GENERAL
NOTES**

SHEET NUMBER

G1.06

INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

PROJECT



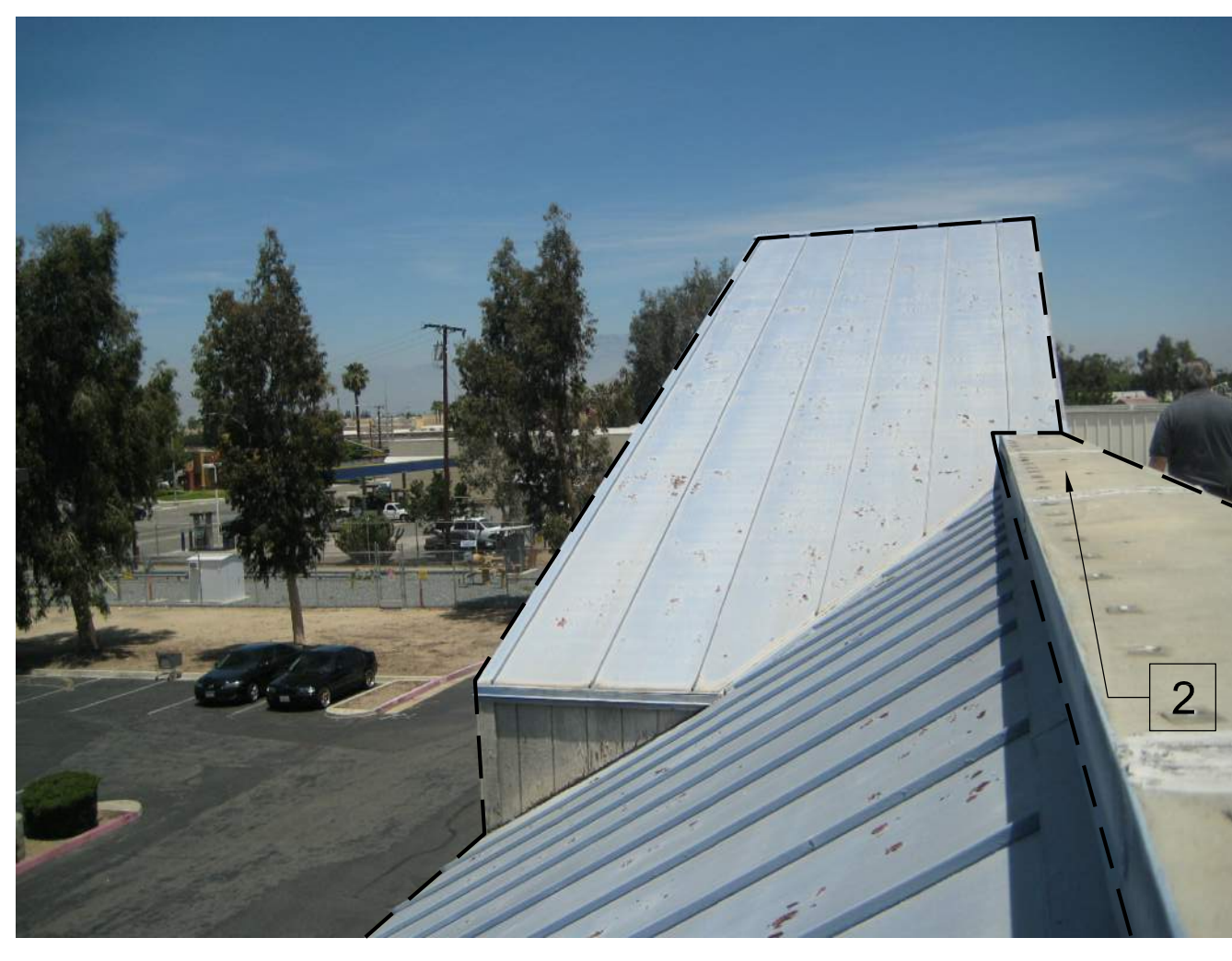
SITE PHOTO

S-20



SITE PHOTO

S-16



SITE PHOTO

S-12



SITE PHOTO

S-08



SITE PHOTO

S-04



SITE PHOTO

S-19



SITE PHOTO

S-15



SITE PHOTO

S-11



SITE PHOTO

S-07



SITE PHOTO

S-03

NOT USED

S-18

NOT USED

S-14

NOT USED

S-17

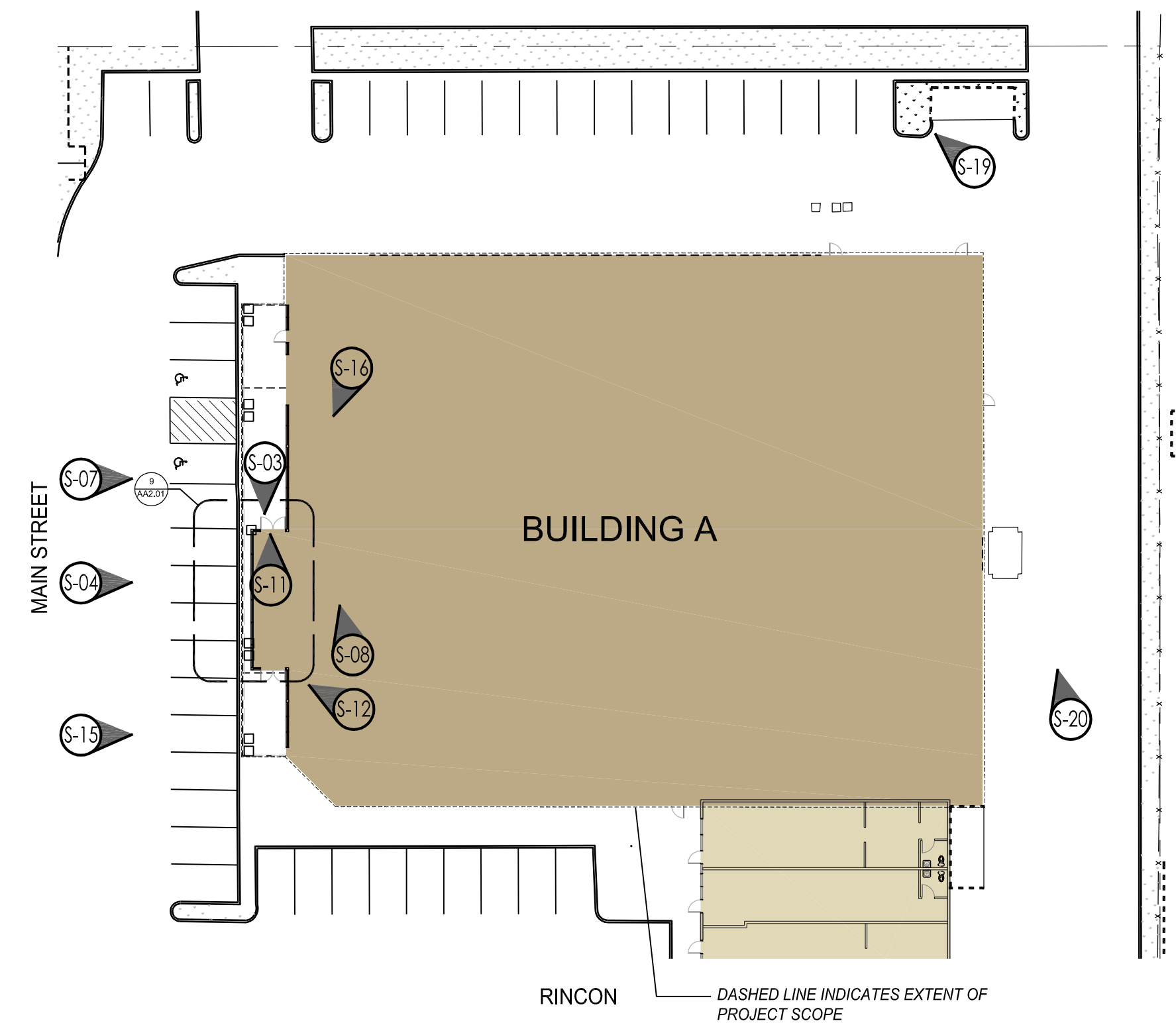
NOT USED

S-13

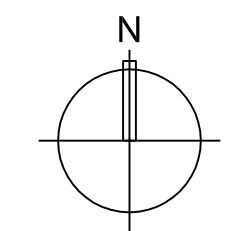
1. DASHED LINE INDICATES EXTENT OF DEMOLITION REMOVE EXISTING CLADDING TO INTERFACE OF ROOF CURB. DO NOT INTERFERE WITH EXISTING ROOFING
2. REMOVE EXISTING COPING
3. EXISTING EXTERIOR CLADDING TO REMAIN
4. REMOVE SUPPORT FRAMING AS REQUIRED CUT FRAMING TO REMOVE SEE STRUCT. DOCS IF REQUIRED TO REMAIN FOR ROOF CURB.
5. REMOVE FINISH FLOOR TO CONCRETE SLAB. SCARIFY CONCRETE SURFACE LEVEL TO OBTAIN SELF LEAVING COMPOUND.

NOTES

S-09



BUILDING 'A' - SITE PLAN



CLIENT

IRA
REALTY CAPITAL

IRA REALTY CAPITAL
1900 Main Street, Suite 375
Irvine, California 92614

PROJECT NAME

**SHOPS at
MAIN STREET -
Exterior Building
Improvements**

511-581 North Main Street
Corona, California 92880

ENGINEER/ARCHITECT

IDS
IDS GROUP

1 PETERS CANYON ROAD, SUITE 130
IRVINE, CA. 92606
TEL: 949-387-8500, FAX: 949-387-0800

STAMP

REV.	DESCRIPTION	DATE
	PLAN CHECK SUBMITTAL	07.25.16

KEY PLAN

PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	GD
CHECKED BY	JS

SHEET TITLE

**BLDG. A
EXISTING SITE
PHOTOS**

SHEET NUMBER

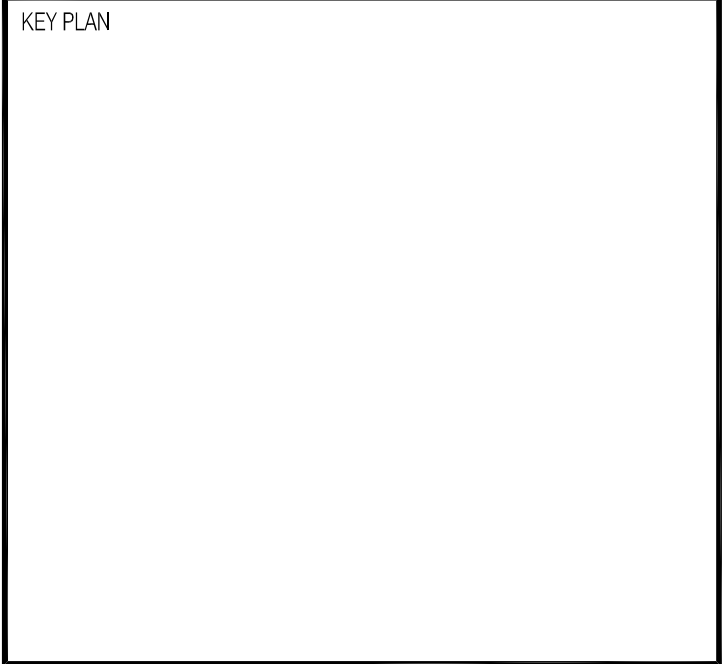
AA1.01

INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

PROJECT

REV.	DESCRIPTION	DATE
	PLAN CHECK SUBMITTAL	07.25.16

KEY PLAN



PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	GD/MC
CHECKED BY	JS

SHEET TITLE

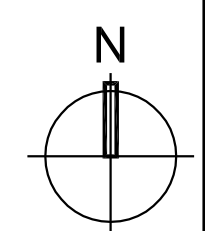
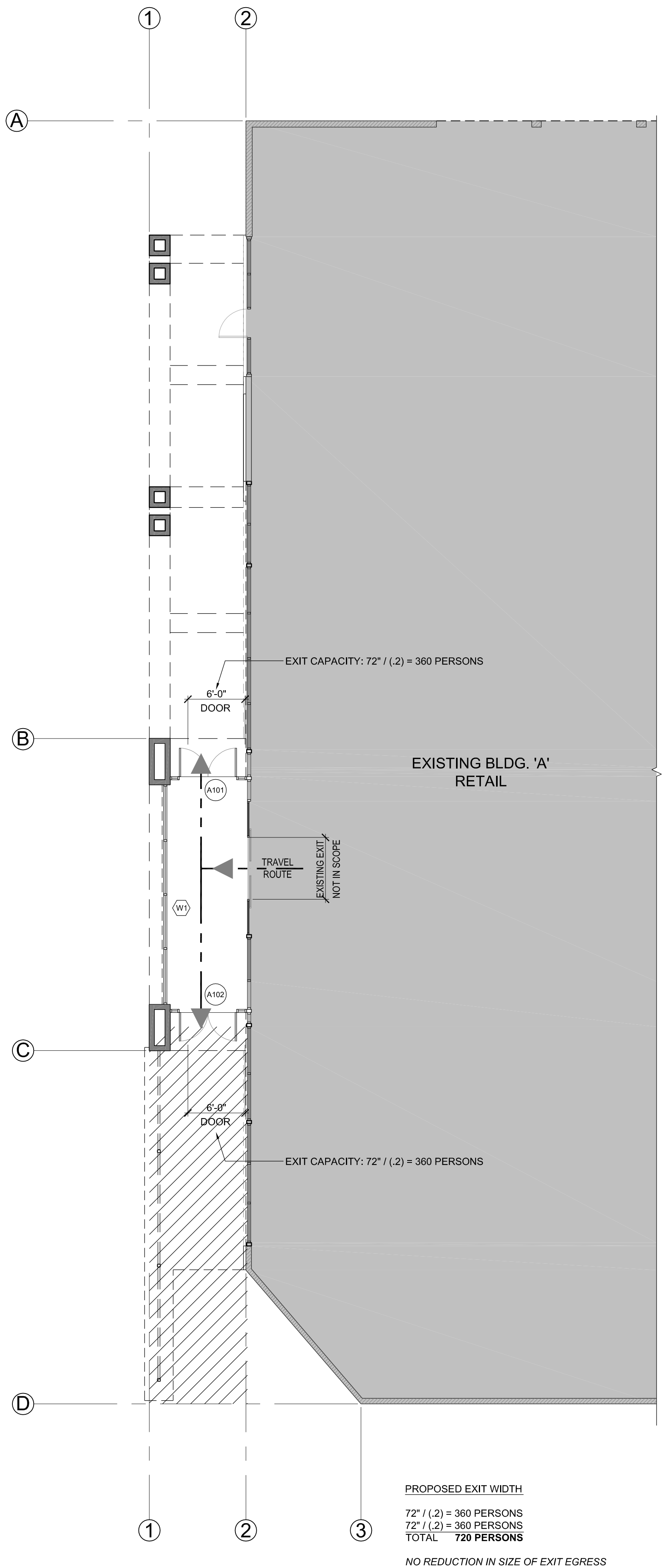
**BLDG. A
EGRESS PLAN
EXISTING & PROPOSED**

SHEET NUMBER

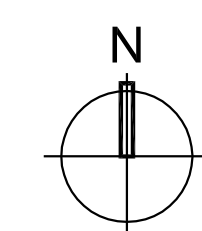
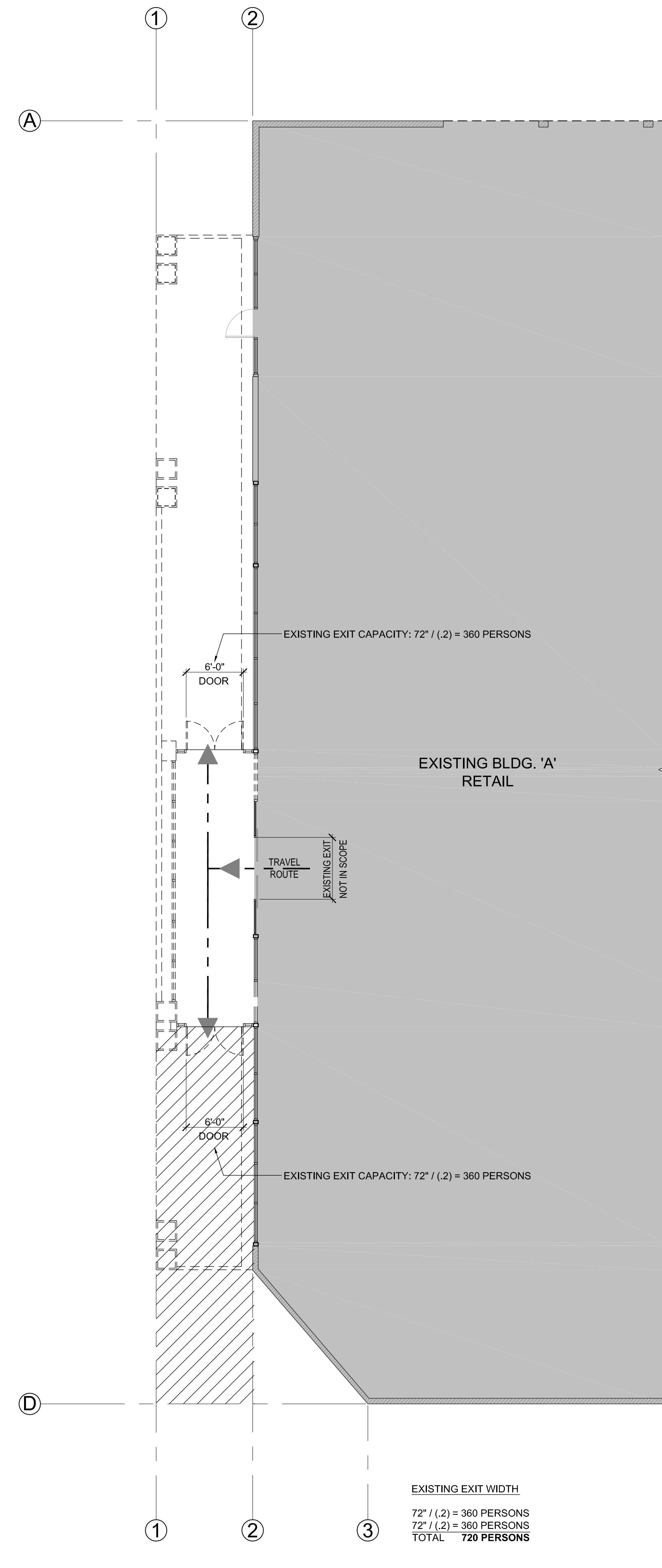
AA2.00

INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

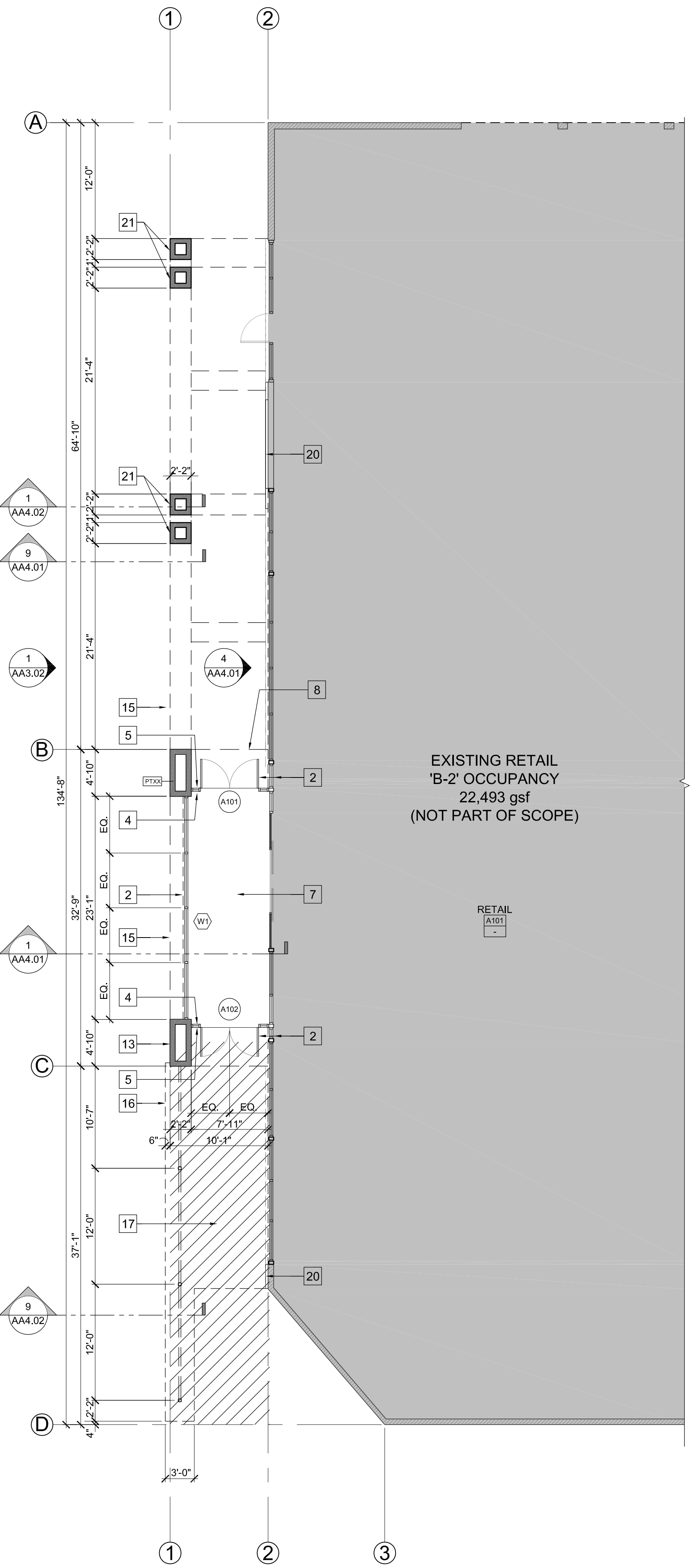
PROJECT



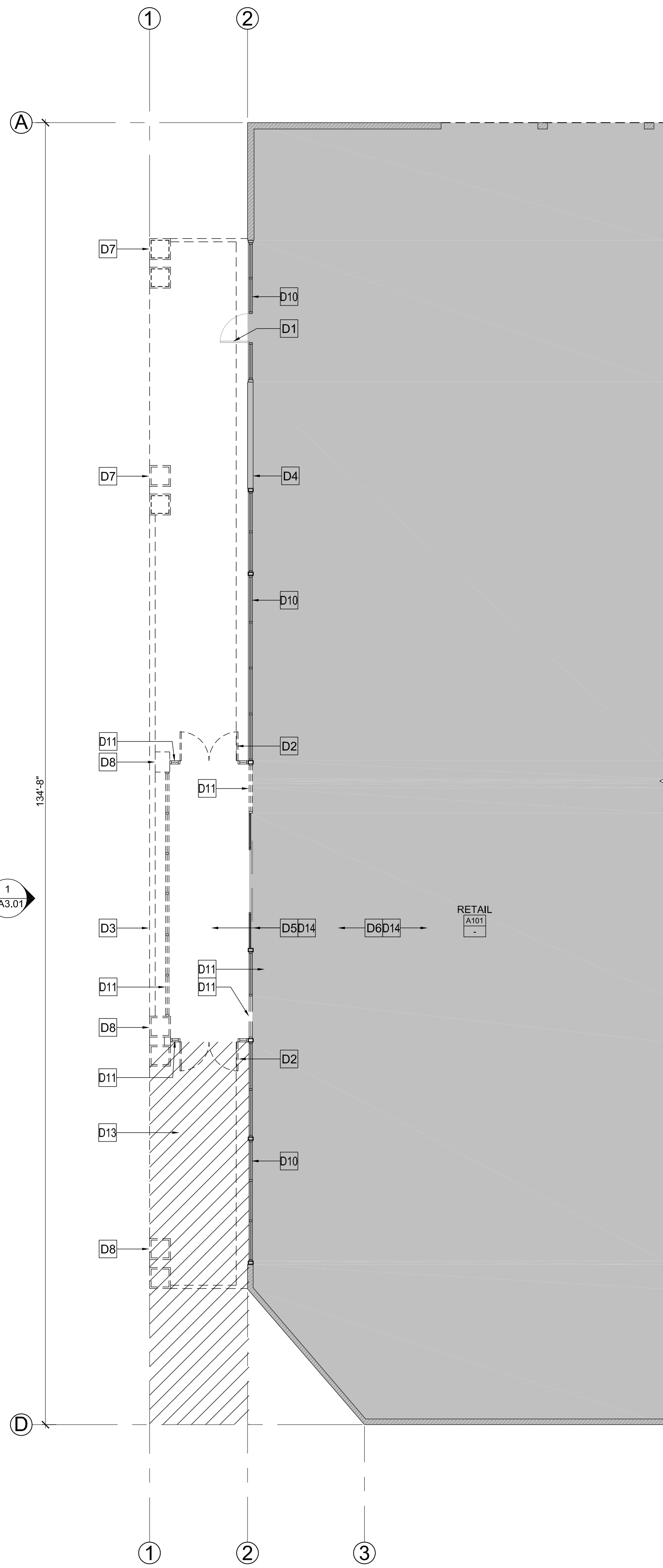
BLDG. A EGRESS PLAN - PROPOSED 1/8" = 1'-0" 9



BLDG. A EGRESS PLAN - EXISTING 1/8" = 1'-0" 1



BLDG. A FLOOR PLAN - PROPOSED 1/8" = 1'-0" 9



BLDG. A FLOOR PLAN - DEMOLITION 1/8" = 1'-0" 1

DEMOLITION KEY NOTES:

- D1 EXISTING DOOR & FRAME TO REMAIN
- D2 EXISTING DOOR & FRAME TO BE REMOVED
- D3 EXISTING WALL TO BE REMOVED & FOUNDATION
- D4 EXISTING WALL TO REMAIN
- D5 EXISTING FINISH FLOORING TO BE REMOVED
- D6 EXISTING FINISH FLOORING TO REMAIN
- D7 EXISTING COLUMN - REMOVE WOOD FINISH (PROTECT-IN-PLACE STRUCTURAL STEEL) FIELD VERIFY LOCATION OF EXISTING STRUCTURAL STEEL & NOTIFY ARCHITECT
- D8 EXISTING COLUMN / POST AND FOUNDATION TO BE REMOVED
- D9 EXISTING GAS / ELECTRIC METER TO REMAIN
- D10 EXISTING STOREFRONT WINDOW TO REMAIN
- D11 EXISTING STOREFRONT WINDOW TO BE REMOVED & FOUNDATION
- D12 EXISTING COLUMN SURROUND TO REMAIN
- D13 EXISTING SLAB AND SUBGRADE TO BE REMOVED
- D14 EXISTING SLAB TO REMAIN
- D15 EXISTING AWNING TO BE REMOVED
- D16 -
- D17 -
- D18 -
- D19 -
- D20 -

KEY NOTES:

- 1 STRUCTURAL COLUMN. SEE STRUCTURAL DWGS.
- 2 STOREFRONT WINDOW / DOOR SYSTEM
- 3 NOT USED
- 4 TACTILE EXIT SIGN. SEE 9/G1.03
- 5 ACCESSIBLE DOOR SIGNAGE. SEE 9/G1.03
- 6 NOT USED
- 7 FLOORING PER FINISH PLAN. SEE A2.21 & A2.22
- 8 DASHED LINE INDICATES SOFFIT ABOVE
- 9 ELECTRICAL EQUIPMENT
- 10 METAL RAILING PER DETAIL
- 11 NOT USED
- 12 CAST-IN-PLACE CONCRETE SITE WALL
- 13 HORIZONTAL WOOD SIDING ENCLOSURE SYSTEM
- 14 HORIZONTAL WOOD SIDING SCREEN WALL
- 15 LINE OF CADDIED SOFFIT ELEMENT ABOVE
- 16 DASHED LINE INDICATES TRELLIS SYSTEM ABOVE
- 17 CONCRETE SLAB PER STRUCTURAL
- 18 EXTERIOR LIGHTING
- 19 EXTERIOR GYP. BRD. W/ PLASTER
- 20 METAL PANEL EXTERIOR WALL SYSTEM
- 21 EXTERIOR COLUMN CLAD ENCLOSURE SYSTEM

GENERAL NOTES:

- SEE ADA SHEETS FOR ADDITIONAL NOTES AND DIMENSIONS, TYP.
- 1. ALL DIMENSIONS ARE FROM FACE OF FINISH U.N.O.
- 2. REFER TO STRUCTURAL AND ELECTRICAL DOCUMENTS FOR ADDITIONAL REQUIRED DEMOLITION.

FLOOR PLAN LEGEND:

- EXISTING WALL TO REMAIN - PROTECT IN PLACE
- EXISTING WALL TO BE REMOVED
- NEW WALL
- INTERNATIONAL SYMBOL OF ACCESS
- DOOR NUMBER - REFER TO DOOR SCHEDULE ON A6.01
- WINDOW NUMBER - REFER TO WINDOW SCHEDULE ON A6.01
- AREA NOT IN SCOPE
- HATCH INDICATES EXTENT OF SLAB & FOUNDATION TO BE REMOVED

WALL LEGEND:

- 1. FOR PARTITION TYPES. REFER TO SHEET A6.03.
- Pt# - PARTITION DESIGNATION TYPE
- PARTITION DESIGNATION

CLIENT

IRA REALTY CAPITAL
1900 Main Street, Suite 375
Irvine, California 92614

PROJECT NAME

**SHOPS at
MAIN STREET -
Exterior Building
Improvements**

511-581 North Main Street
Corona, California 92880

ENGINEER/ARCHITECT

IDS GROUP
1 PETERS CANYON ROAD, SUITE 130
IRVINE, CA. 92606
TEL: 949-387-8500, FAX: 949-387-0800

STAMP

ISSUE	REV.	DESCRIPTION	DATE
		PLAN CHECK SUBMITTAL	07.25.16

ISSUE	REV.	DESCRIPTION	DATE
		PLAN CHECK SUBMITTAL	07.25.16

KEY PLAN

PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	GD/MC
CHECKED BY	JS

SHEET TITLE

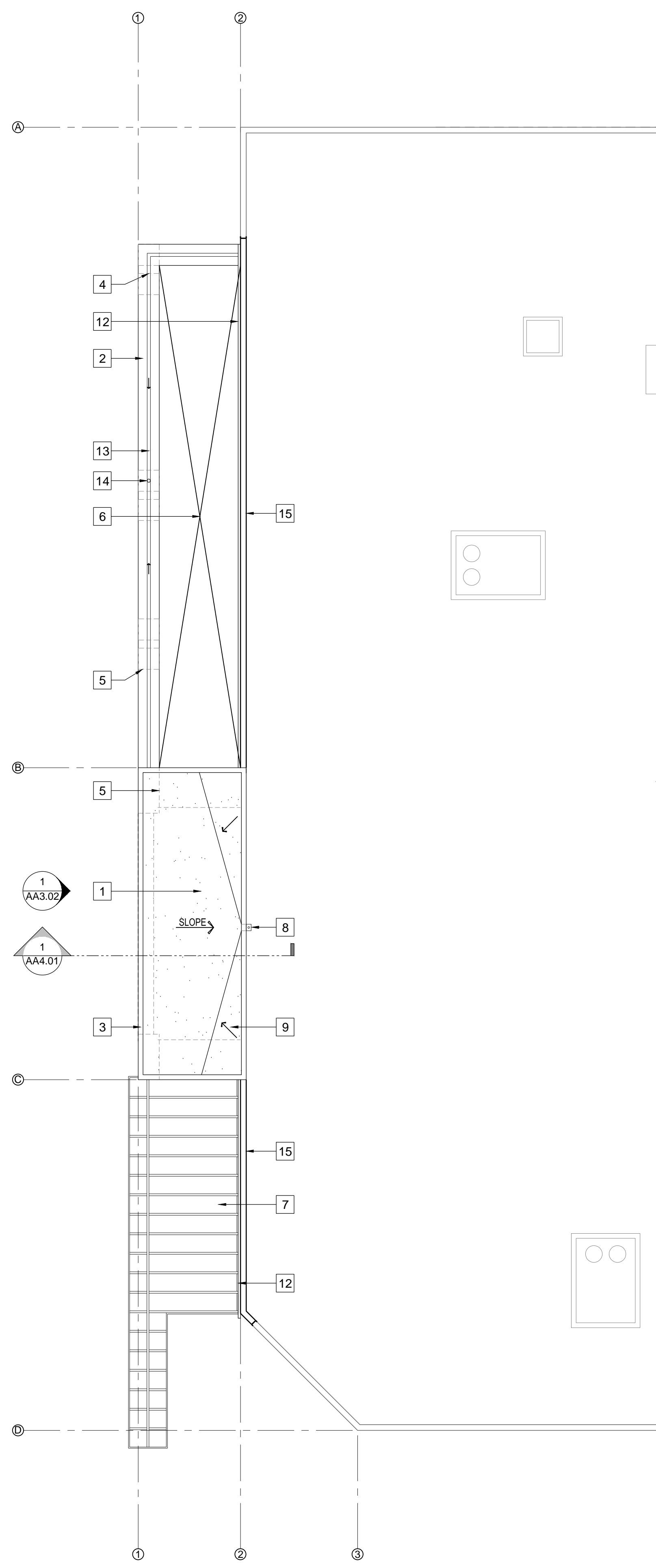
**BLDG. A
FLOOR PLAN
DEMOLITION & PROPOSED**

SHEET NUMBER

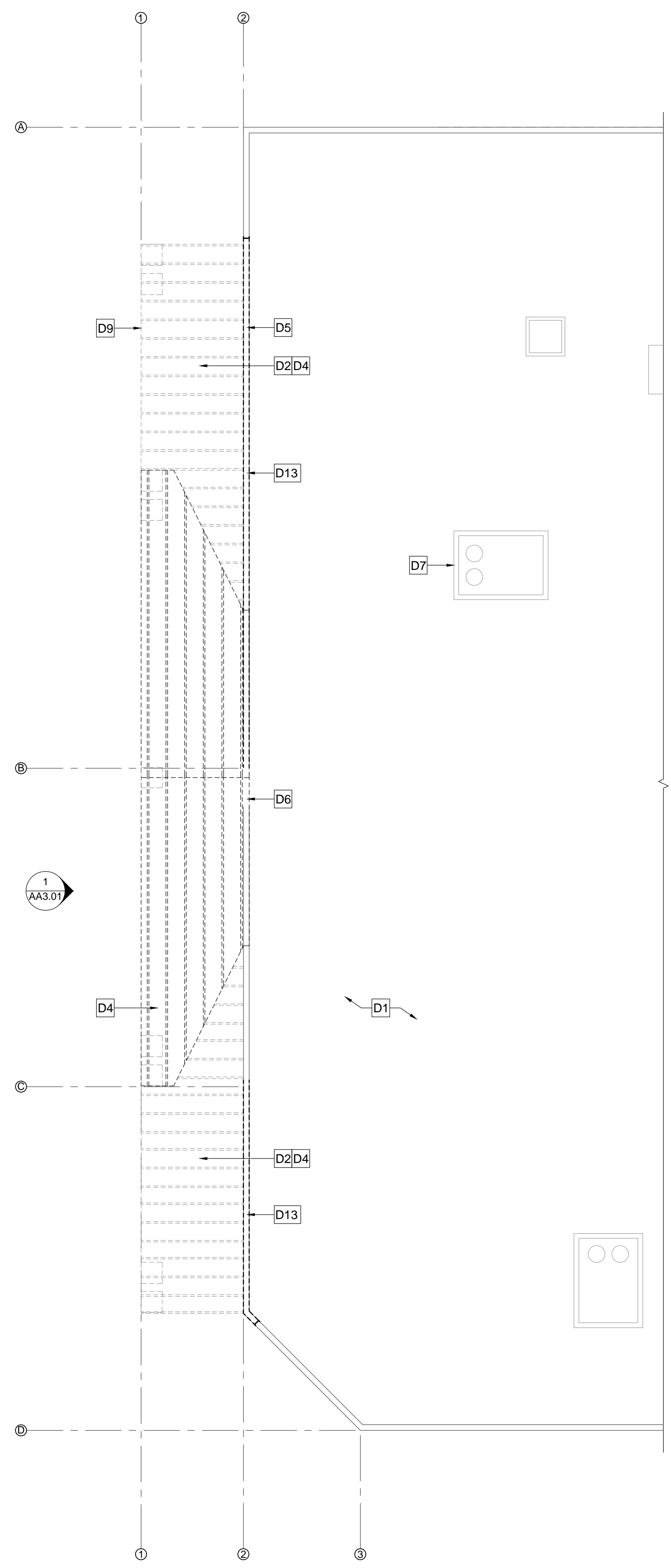
AA2.01

INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

PROJECT



BLDG. A, ROOF PLAN - PROPOSED 1/8" = 1'-0" 9



BLDG. A, ROOF PLAN - DEMOLITION 1/8" = 1'-0" 1

DEMOLITION KEY NOTES:

- D1 EXISTING ROOFING MATERIAL TO REMAIN
- D2 EXISTING ROOFING MATERIAL TO BE REMOVED
- D3 EXISTING STANDING SEAM METAL ROOF TO REMAIN
- D4 EXISTING STANDING SEAM METAL ROOF TO BE REMOVED
- D5 EXISTING PARAPET COPING CAP TO REMAIN
- D6 EXISTING PARAPET COPING CAP TO BE REMOVED
- D7 EXISTING MECHANICAL EQUIPMENT TO REMAIN
- D8 EXISTING MECHANICAL EQUIPMENT TO BE REMOVED
- D9 EXISTING CANOPY ENCLOSURE / SOFFIT ELEMENT TO BE REMOVED
- D10 EXISTING CANOPY ENCLOSURE / SOFFIT ELEMENT TO REMAIN
- D11 LINE OF EXISTING STRUCTURE, BELOW
- D12 LINE OF EXISTING STRUCTURE TO BE REMOVED, BELOW
- D13 REMOVE EXISTING COPING
- D14 -
- D15 -
- D16 -
- D17 -
- D18 -
- D19 -
- D20 -

KEY NOTES:

- 1 BUILT-UP ROOFING SYSTEM
- 2 PARAPET CAP
- 3 ROOF PARAPET FLASHING, SEE DTL -A8.01
- 4 LINE OF EXISTING COLUMN, BELOW
- 5 LINE OF COLUMN, BELOW
- 6 OPEN TO BELOW
- 7 TRELLIS
- 8 SCUPPER, CONDUCTOR & DOWNSPOUT TO LOWER ROOF DECK, SEE DTL 11/A8.01
- 9 CRICKET, SEE DTL -A8.01
- 10 EXISTING EQUIPMENT TO REMAIN
- 11 PATCH AND REPAIR EXISTING ROOFING MATERIAL AT AREA OF WORK
- 12 METAL PANEL SYSTEM
- 13 GUTTER SYSTEM
- 14 DRAIN & DOWNSPOUT
- 15 NEW COPING & FLASHING SYSTEM
- 16 -
- 17 -
- 18 -
- 19 -
- 20 -

GENERAL NOTES - DEMOLITION:

1. CONTRACTOR SHALL COORDINATE WITH THE CITY FOR PROPER REMOVAL AND DISPOSAL OF ANY ASBESTOS CONTAINING MATERIALS (ACM) THAT MAY BE PRESENT IN ROOFING MATERIALS.
2. CONTRACTOR SHALL REMOVE ALL EXISTING UNUSED CONDUIT, INTERNET CABLE, ELECTRICAL WIRING, GAS AND WATER LINES, ETC. THAT ARE CURRENTLY ROUTED TO THE AREA OF WORK.

GENERAL NOTES:

- SEE ADA SHEETS FOR ADDITIONAL NOTES AND DIMENSIONS, TYP.
1. ALL DIMENSIONS ARE FROM FACE OF FINISH U.N.O.
 2. ROOF SLOPE TO BE 1/4" PER FOOT MIN., UNO.
 3. MIN. CLASS 'A' ROOFING

CLIENT

IRA REALTY CAPITAL
1900 Main Street, Suite 375
Irvine, California 92614

PROJECT NAME

**SHOPS at
MAIN STREET -
Exterior Building
Improvements**

511-581 North Main Street
Corona, California 92880

ENGINEER/ARCHITECT

IDS GROUP
1 PETERS CANYON ROAD, SUITE 130
IRVINE, CA 92606
TEL: 949-387-8500, FAX: 949-387-0800

STAMP

REV.	DESCRIPTION	DATE
1	PLAN CHECK SUBMITTAL	05.31.16
2	PLAN CHECK RE-SUBMITTAL	07.06.16
3	PLAN CHECK RE-SUBMITTAL	

KEY PLAN

PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	GD/MC
CHECKED BY	JS

SHEET TITLE

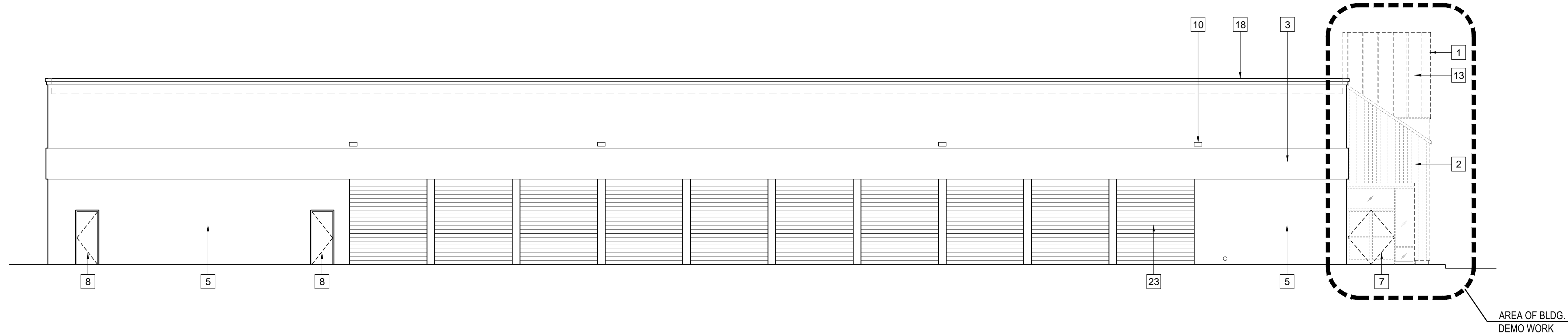
**BLDG. A
ROOF PLAN
DEMOLITION & PROPOSED**

SHEET NUMBER

AA2.02

PLAN CHECK RE-SUBMITTAL SET - 07/25/16

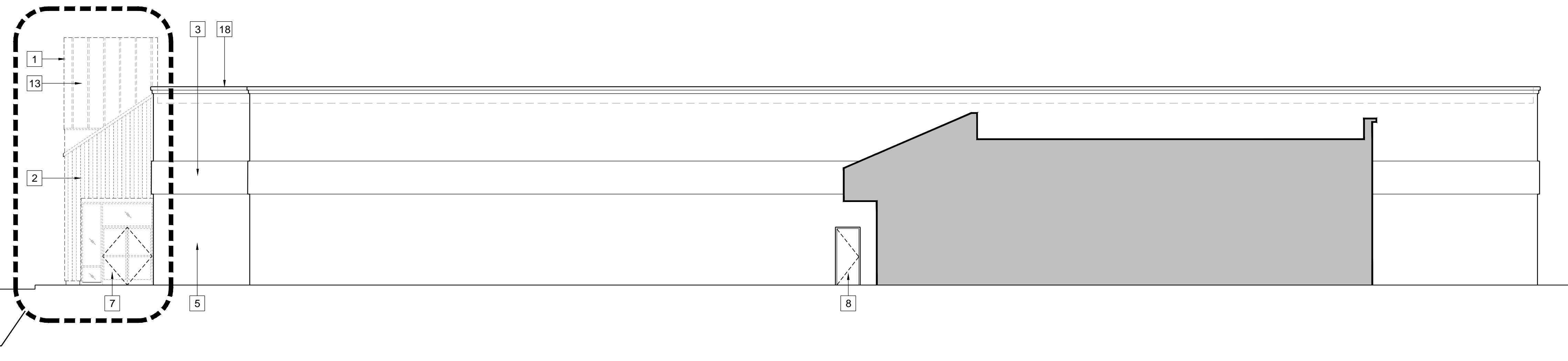
PROJECT



BLDG. A EXTERIOR ELEVATION, NORTH - DEMO. / EXISTING 1/8" = 1'-0" 4

KEY NOTES:

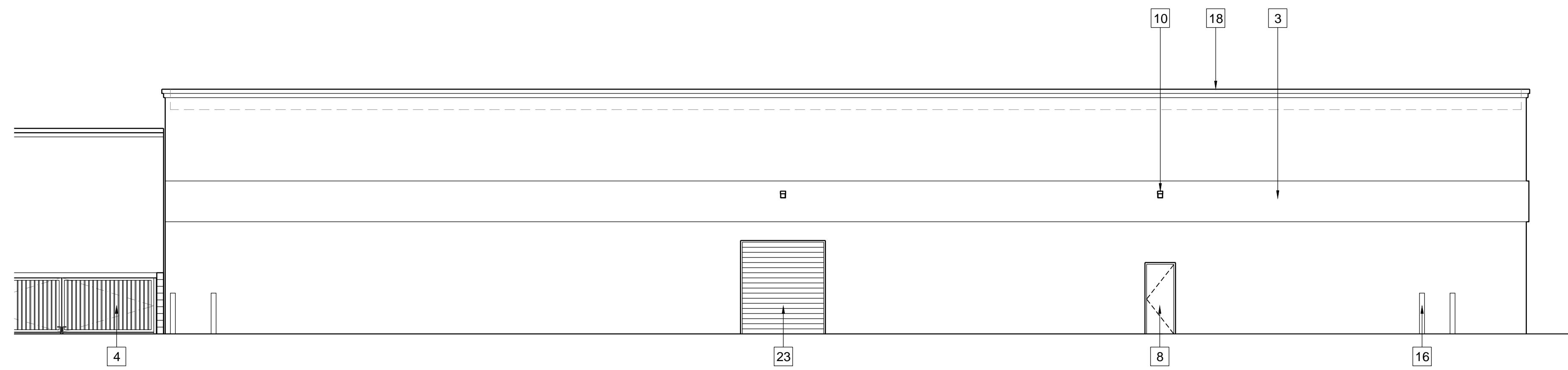
- 1 LINE OF AREA TO BE DEMOLISHED
- 2 EXISTING WOOD SIDING TO BE REMOVED BACK TO FRAMING
- 3 EXISTING EXTERIOR PLASTER FURR OUT BAND TO REMAIN
- 4 EXISTING TRASH ENCLOSURE & GATE TO REMAIN, PAINT
- 5 EXISTING EXTERIOR PLASTER TO REMAIN
- 6 EXISTING STOREFRONT WINDOW SYSTEM TO REMAIN
- 7 EXISTING STOREFRONT WINDOW SYSTEM TO BE REMOVED
- 8 EXISTING DOOR & FRAME TO REMAIN
- 9 EXISTING DOOR & FRAME TO BE REMOVED
- 10 EXISTING LIGHT FIXTURE TO REMAIN
- 11 EXISTING LIGHT FIXTURE TO BE REMOVED
- 12 EXISTING STANDING SEAM METAL ROOF TO REMAIN
- 13 EXISTING STANDING SEAM METAL ROOF TO BE REMOVED
- 14 EXISTING CANOPY / OVERHANG TO REMAIN
- 15 EXISTING CANOPY / OVERHANG TO BE REMOVED
- 16 EXISTING PIPE BOLLARDS TO REMAIN
- 17 EXISTING PARAPET COPING CAP TO BE REMOVED
- 18 EXISTING PARAPET COPING CAP TO REMAIN
- 19 EXISTING WALL LOUVER TO REMAIN, PAINT
- 20 EXISTING ELECTRICAL CABINET TO REMAIN
- 21 EXISTING SIGN TO BE REMOVED & RELOCATED
- 22 EXISTING TENANT SIGNAGE TO BE REMOVED (COORD. W/ OWNER)
- 23 EXISTING OVERHEAD DOOR & TRACK TO REMAIN
- 24 EXISTING OVERHEAD DOOR PLASTER TO REMAIN, PAINT
- 25 EXISTING ROOF LADDER TO REMAIN



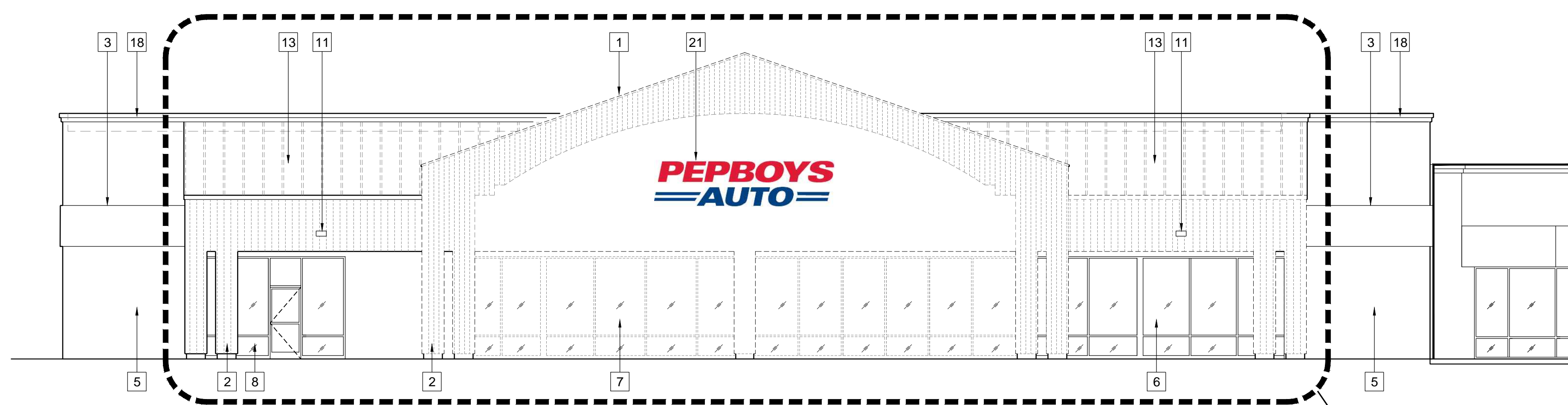
BLDG. A EXTERIOR ELEVATION, SOUTH - DEMO. / EXISTING 1/8" = 1'-0" 3

GENERAL NOTES:

1. DEMOLITION EXISTING ELECTRICAL AT SIGNAGE BACK TO WALL AT GRID LINE #2.
2. MAINTAIN CIRCUITING TO ALLOW SIGN TO BE RELOCATED & REINSTALLED AT COMPLETION OF NEW CONSTRUCTION.



BLDG. A EXTERIOR ELEVATION, EAST - DEMO. / EXISTING 1/8" = 1'-0" 2



BLDG. A EXTERIOR ELEVATION, WEST - DEMO. / EXISTING 1/8" = 1'-0" 1

FOR ADDITIONAL INFORMATION, SEE SHEET AA2.02.

CLIENT

IRA REALTY CAPITAL
1900 Main Street, Suite 375
Irvine, California 92614

PROJECT NAME

**SHOPS at
MAIN STREET -
Exterior Building
Improvements**

511-581 North Main Street
Corona, California 92880

ENGINEER/ARCHITECT

IDS GROUP
1 PETERS CANYON ROAD, SUITE 130
IRVINE, CA 92606
TEL: 949-387-8500, FAX: 949-387-0800

STAMP

REV.	DESCRIPTION	DATE
	PLAN CHECK SUBMITTAL	07.25.16

KEY PLAN

PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	GD/MC
CHECKED BY	JS

SHEET TITLE

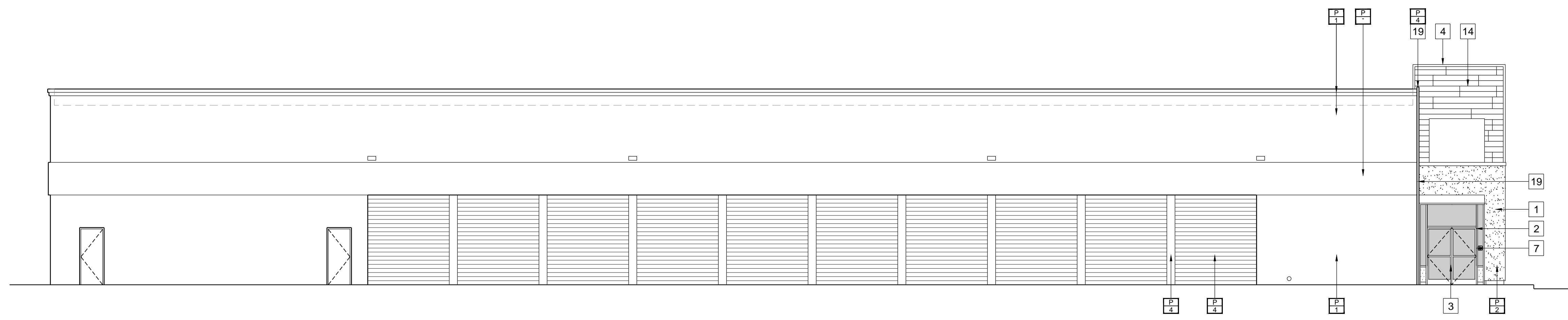
**BLDG. A
EXTERIOR ELEVATIONS
DEMO. / EXISTING**

SHEET NUMBER

AA3.01

INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

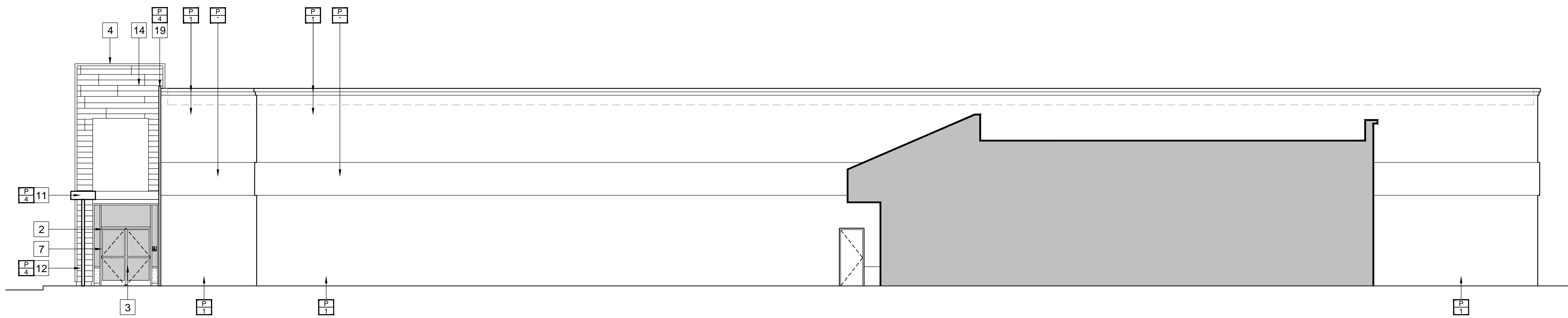
PROJECT



BLDG. A EXTERIOR ELEVATION, NORTH 1/8" = 1'-0" 4

KEY NOTES:

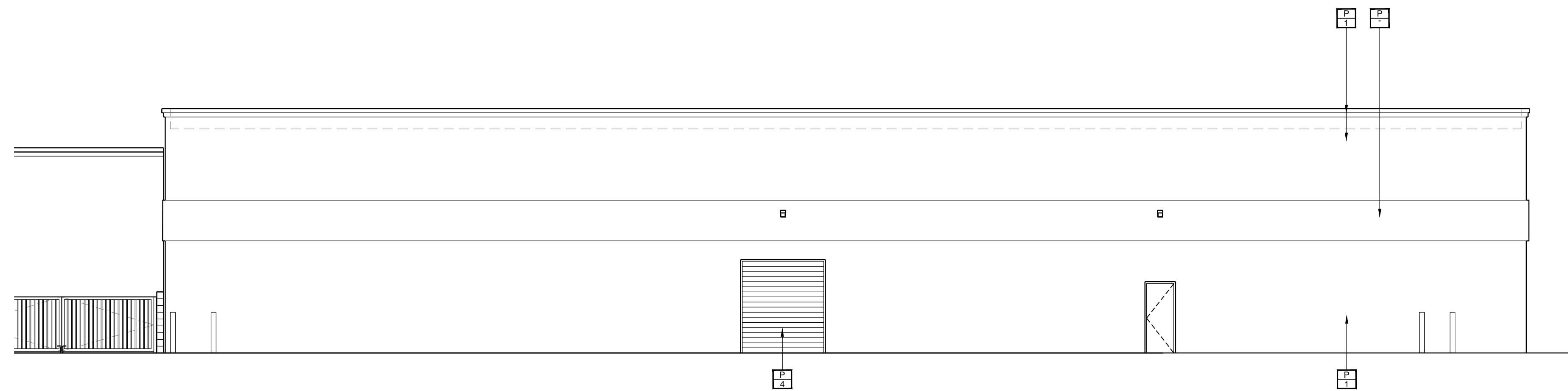
- 1 EXTERIOR PLASTER
- 2 ALUMINUM STOREFRONT WINDOW SYSTEM
- 3 DOOR AND FRAME PER SCHEDULE
- 4 G.I. FLASHING
- 5 EXTERIOR PLASTER FURR OUT BAND TO REMAIN
- 6 LIGHT FIXTURE PER ELECTRICAL
- 7 ACCESSIBLE SIGNAGE, SEE 9/G1.03
- 8 1/2" REVEAL
- 9 ADDRESS NUMERAL, 6" H., MIN.
- 10 LINE OF ELEMENT, BEYOND
- 11 METAL CANOPY
- 12 CANOPY COLUMN, SEE STRUCTURAL
- 13 STANDING SEAM METAL ROOF
- 14 HORIZONTAL WOOD SIDING
- 15 HORIZONTAL WOOD SIDING SCREEN WALL
- 16 I.D. SIGNAGE
- 17 RELOCATED EXISTING SIGNAGE
- 18 CAST IN PLACE CONCRETE SITE WALL, SEE 4/GA2.04
- 19 METAL PANEL SYSTEM
- 20 MODULAR LANDSCAPE TRELIS SYSTEM
- 21 GUTTER SYSTEM, BEYOND
- 22 DRAIN & DOWNSPOUT



BLDG. A EXTERIOR ELEVATION, SOUTH 1/8" = 1'-0" 3

GENERAL NOTES:

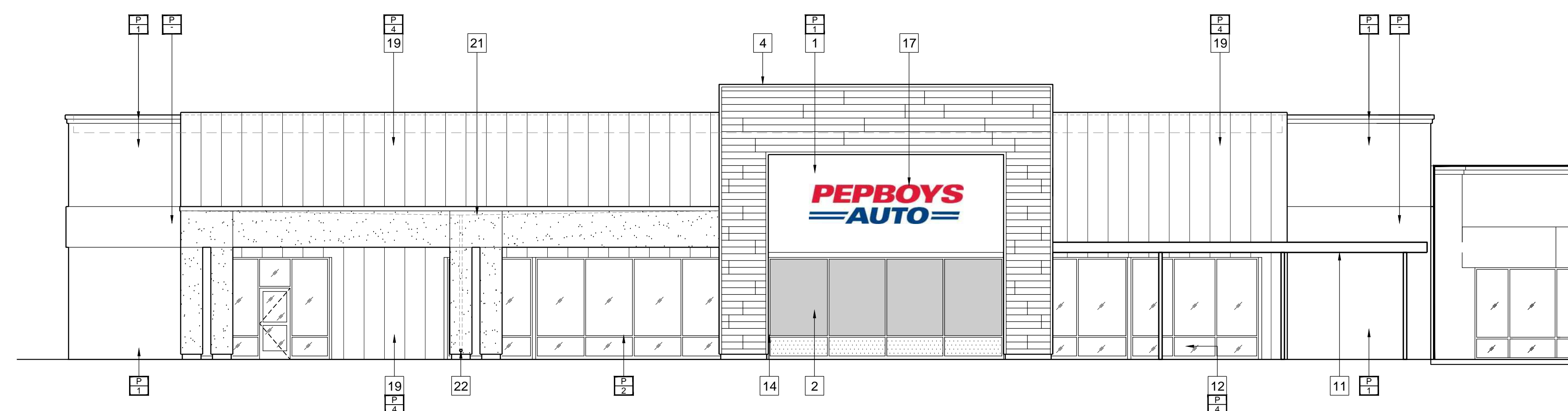
- SEE ADA SHEETS FOR ADDITIONAL NOTES AND DIMENSIONS, TYP.
- 1. ALL DIMENSIONS ARE FROM FACE OF FINISH U.N.O.
- 2. ALL NEW TENANT SIGNAGE, SUBJECT TO SEPARATE REVIEW & APPROVAL
- 3. PROVIDE BACKING AS NEEDED AT BUILDING SIGNAGE LOCATION.



BLDG. A EXTERIOR ELEVATION, EAST 1/8" = 1'-0" 2


LEGEND:

- P
1 PAINT - PRIMARY 1, EXTERIOR
DUNN EDWARDS
PEWTER PATTER (DET627)
- P
2 PAINT - ACCENT 1, EXTERIOR
DUNN EDWARDS
CLIPPED GRASS (DES459)
- P
3 PAINT - ACCENT 2, EXTERIOR
DUNN EDWARDS
TANGERINE TANGO (DES194)
- P
4 PAINT - ACCENT 2, EXTERIOR
DUNN EDWARDS
IRON - R (DET611)
- GLAZING 1
EXISTING
- GLAZING 2
CLEAR VISION
- GLAZING 3
TRANSLUCENT



BLDG. A EXTERIOR ELEVATION, WEST 1/8" = 1'-0" 1

CLIENT




IRA REALTY CAPITAL
1900 Main Street, Suite 375
Irvine, California 92614

PROJECT NAME

**SHOPS at
MAIN STREET -
Exterior Building
Improvements**

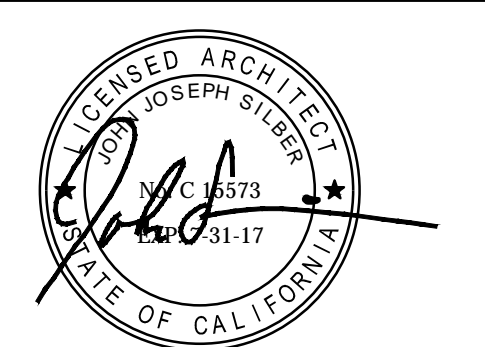
511-581 North Main Street
Corona, California 92880

ENGINEER/ARCHITECT



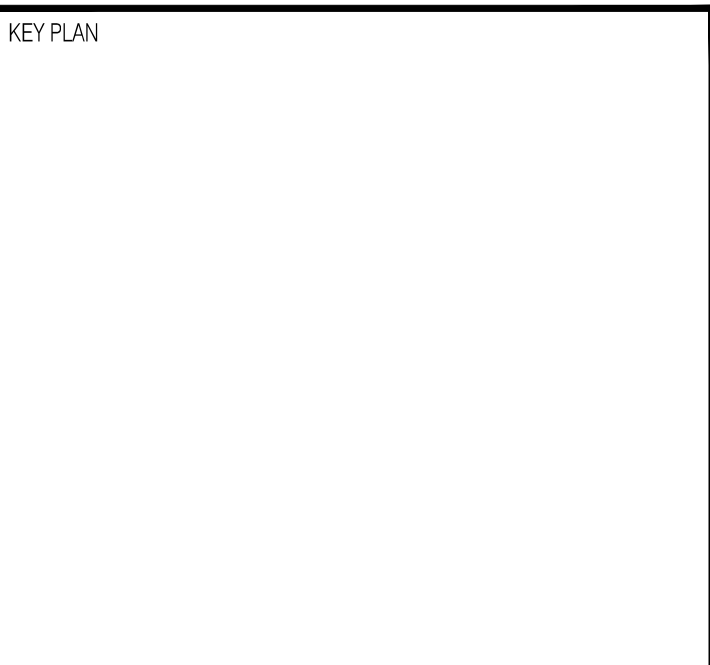
IDS GROUP
1 PETERS CANYON ROAD, SUITE 130
IRVINE, CA 92606
TEL: 949-387-8500, FAX: 949-387-0800

STAMP



REV.	DESCRIPTION	DATE
	PLAN CHECK SUBMITTAL	07.25.16

KEY PLAN



PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	GD/MC
CHECKED BY	JS

SHEET TITLE

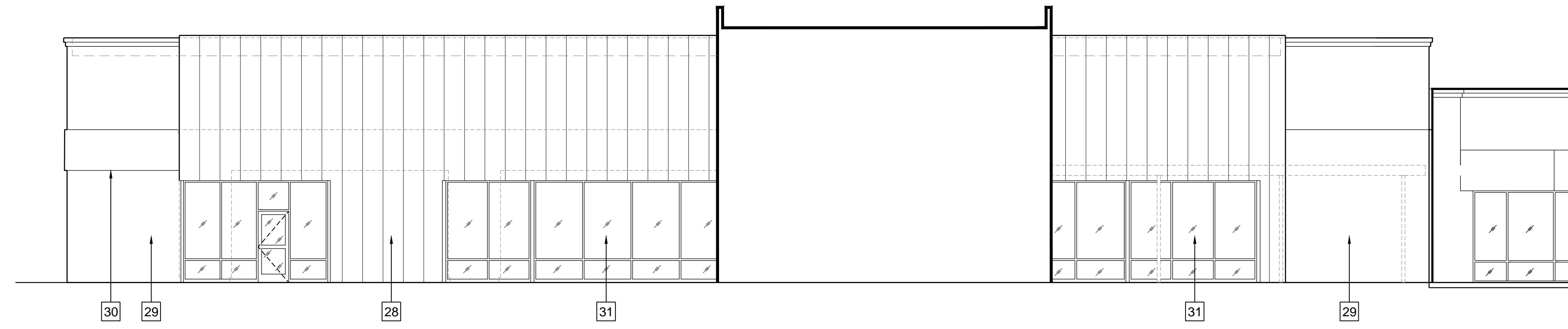
**BLDG. A
EXTERIOR ELEVATIONS**

SHEET NUMBER

AA3.02

INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

PROJECT



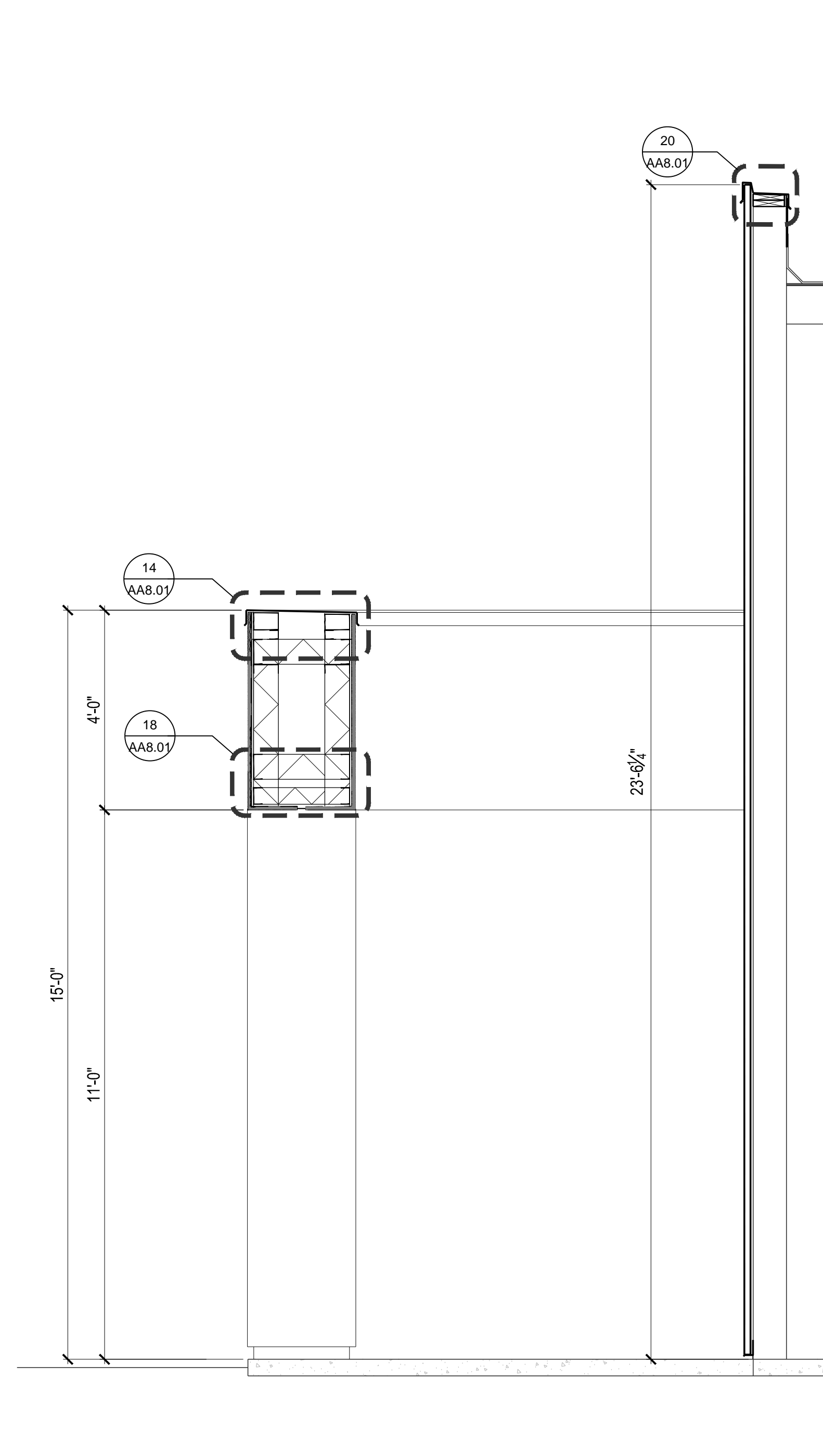
BLDG. A EXTERIOR ELEVATION, WEST 1/8" = 1'-0" 4

KEY NOTES:

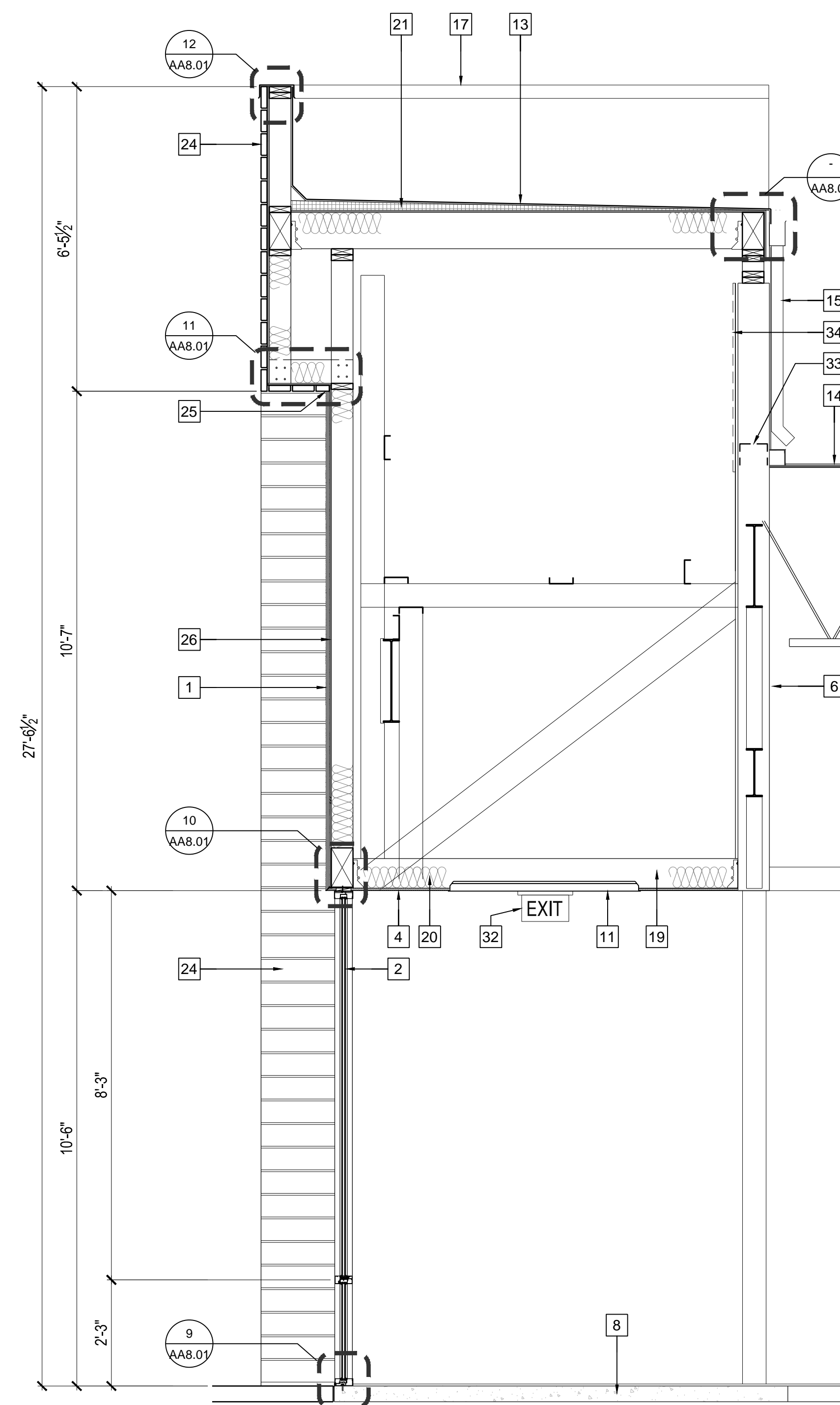
- 1 PROPOSED EXTERIOR PLASTER
- 2 PROPOSED ALUMINUM STOREFRONT SYSTEM
- 3 DOOR AND FRAME PER AA8.01
- 4 GYP. BOARD OVER STUD FRAMING
- 5 EXTERIOR PLASTER SOFFIT FINISH SYSTEM
- 6 WALL PER PLAN
- 7 CONCRETE SLAB / FOUNDATION PER STRUCTURAL
- 8 EXISTING CONCRETE SLAB / FOUNDATION
- 9 1/2" REVEAL
- 10 SUSPENDED CEILING SYSTEM
- 11 LIGHT FIXTURE
- 12 LINE OF BUILDING BEYOND
- 13 BUILT-UP ROOFING SYSTEM
- 14 EXISTING ROOFING SYSTEM
- 15 GUTTER & DOWNSPOUT
- 16 SCUPPER
- 17 G.I. FLASHING
- 18 ROOF DRAIN / OVERFLOW
- 19 FRAMING PER STRUCTURAL
- 20 BATT INSULATION
- 21 TAPERED RIGID INSULATION
- 22 DIAGONAL BRACE
- 23 BASE PER SCHEDULE
- 24 HORIZONTAL WOOD SIDING
- 25 ROD & SEALANT
- 26 BACKER BOARD
- 27 ACCESS PANEL
- 28 METAL PANEL SYSTEM
- 29 EXISTING EXTERIOR PLASTER FURR OUT BAND TO REMAIN
- 30 EXISTING EXTERIOR PLASTER TO REMAIN
- 31 EXISTING STOREFRONT SYSTEM TO REMAIN
- 32 EXIT SIGN
- 33 CUT STOP
- 34 REMOVE EXISTING SHEATHING

GENERAL NOTES:

- SEE ADA SHEETS FOR ADDITIONAL NOTES AND DIMENSIONS, TYP.
 1. ALL DIMENSIONS ARE FROM FACE OF FINISH U.N.O.



WALL SECTION - BLDG. A 1/2" = 1'-0" 9



WALL SECTION - BLDG. A 1/2" = 1'-0" 1

CLIENT

IRA REALTY CAPITAL
 1900 Main Street, Suite 375
 Irvine, California 92614

PROJECT NAME

**SHOPS at
 MAIN STREET -
 Exterior Building
 Improvements**

511-581 North Main Street
 Corona, California 92880

ENGINEER/ARCHITECT

IDS GROUP
 1 PETERS CANYON ROAD, SUITE 130
 IRVINE, CA. 92606
 TEL: 949-387-8500, FAX: 949-387-0800

STAMP

REV.	DESCRIPTION	DATE
	PLAN CHECK SUBMITTAL	07.25.16

KEY PLAN

PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	MC/RW
CHECKED BY	JS

SHEET TITLE

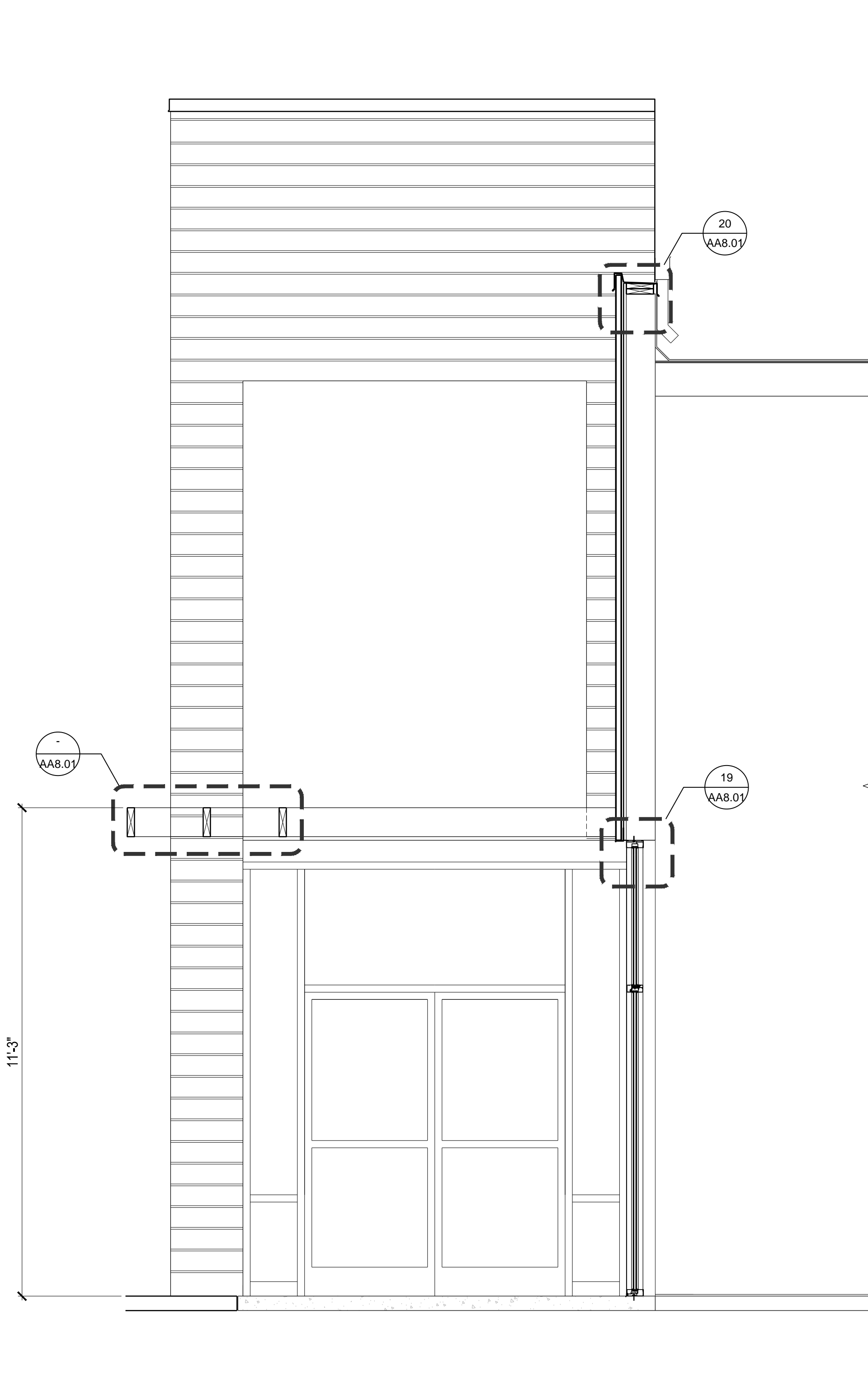
**BLDG. A
 WALL SECTIONS**

SHEET NUMBER

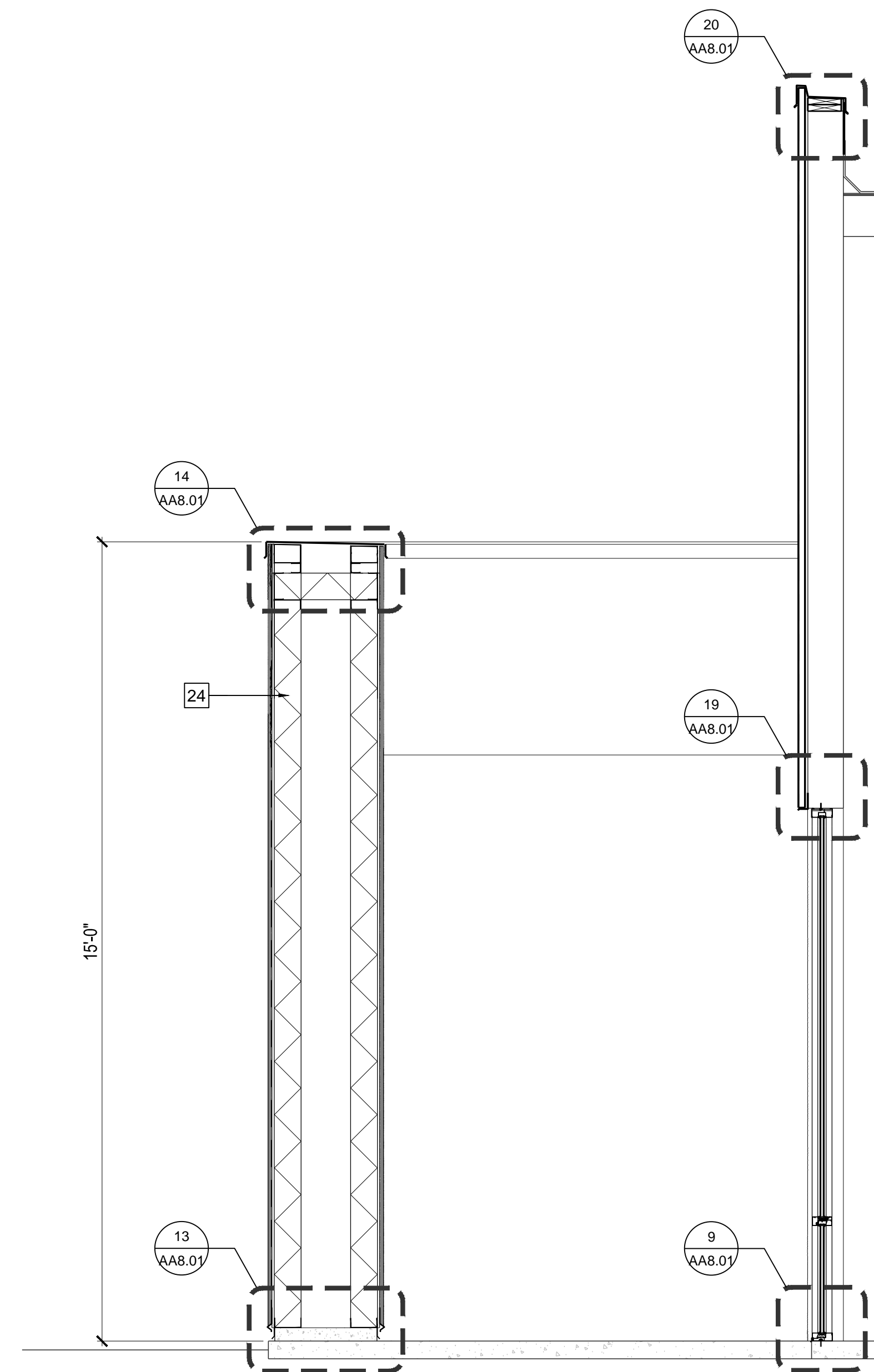
AA4.01

INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

PROJECT



WALL SECTION - BLDG. A 1/2" = 1'-0" 9



WALL SECTION - BLDG. A 1/2" = 1'-0" 1

KEY NOTES:

- 1 PROPOSED EXTERIOR PLASTER
- 2 PROPOSED ALUMINUM STOREFRONT SYSTEM
- 3 DOOR AND FRAME PER AAB.01
- 4 GYP. BOARD OVER STUD FRAMING
- 5 EXTERIOR PLASTER SOFFIT FINISH SYSTEM
- 6 WALL PER PLAN
- 7 CONCRETE SLAB / FOUNDATION PER STRUCTURAL
- 8 EXISTING CONCRETE SLAB / FOUNDATION
- 9 1/2" REVEAL
- 10 SUSPENDED CEILING SYSTEM
- 11 LIGHT FIXTURE
- 12 LINE OF BUILDING BEYOND
- 13 BUILT-UP ROOFING SYSTEM
- 14 EXISTING ROOFING SYSTEM
- 15 GUTTER & DOWNSPOUT
- 16 SCUPPER
- 17 G.I. FLASHING
- 18 ROOF DRAIN / OVERFLOW
- 19 FRAMING PER STRUCTURAL
- 20 BATT INSULATION
- 21 TAPERED RIGID INSULATION
- 22 DIAGONAL BRACE
- 23 BASE PER SCHEDULE
- 24 HORIZONTAL WOOD SIDING
- 25 ROD & SEALANT
- 26 BACKER BOARD
- 27 ACCESS PANEL
- 28 METAL PANEL SYSTEM
- 29 EXISTING EXTERIOR PLASTER FURR OUT BAND TO REMAIN
- 30 EXISTING EXTERIOR PLASTER TO REMAIN
- 31 EXISTING STOREFRONT SYSTEM TO REMAIN
- 32 EXIT SIGN
- 33 CUT STOP
- 34 REMOVE EXISTING SHEATHING

GENERAL NOTES:

- SEE ADA SHEETS FOR ADDITIONAL NOTES AND DIMENSIONS, TYP.
 1. ALL DIMENSIONS ARE FROM FACE OF FINISH U.O.

CLIENT

IRA REALTY CAPITAL
 1900 Main Street, Suite 375
 Irvine, California 92614

PROJECT NAME

**SHOPS at
 MAIN STREET -
 Exterior Building
 Improvements**

511-581 North Main Street
 Corona, California 92880

ENGINEER/ARCHITECT

IDS GROUP
 1 PETERS CANYON ROAD, SUITE 130
 IRVINE, CA. 92606
 TEL: 949-387-8500, FAX: 949-387-0800

STAMP

REV.	DESCRIPTION	DATE
	PLAN CHECK SUBMITTAL	07.25.16

KEY PLAN

PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	MC/RW
CHECKED BY	JS

SHEET TITLE

**BLDG. A
 WALL SECTIONS**

SHEET NUMBER

AA4.02

INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

PROJECT

FINISH SCHEDULE

PAINT	
P 1	PAINT - PRIMARY 1, EXTERIOR DUNN EDWARDS PETER PATER (DET827)
P 2	PAINT - ACCENT 1, EXTERIOR DUNN EDWARDS CLIPPED GRASS (DES52)
P 3	PAINT - ACCENT 2, EXTERIOR DUNN EDWARDS TANGIERE TANGO (DES194)
P 4	PAINT - ACCENT 2, EXTERIOR DUNN EDWARDS IRON - k (DET811)
P 5	PAINT - PRIMARY 1, INTERIOR DUNN EDWARDS SWISS COFFEE (DEW341)

RESILIENT FLOORING	
RF 1	RUBBER FLOORING MANUFACTURER: JOHNSONITE STYLE NAME: SOLID RUBBER FLOORING, RAISED ROUND PATTERN COLOR: 40 BLACK SIZE: 24x24

BASE	
RB 1	RUBBER BASE MANUFACTURER: JOHNSONITE STYLE NAME: TRADITIONAL WALL BASE (DCT-XXX-4) SIZE: 4" HIGH / TOELESS COLOR: 40 BLACK

FLOOR TRANSITION	
FT 1	FLOOR TRANSITION MANUFACTURER: JOHNSONITE COLOR: MATCH RB-1

WINDOW FILM	
WF 1	WINDOW FILM MANUFACTURER: 3M FASARA ARCHITECTURAL FILM STYLE: MKY WHITE MILANO #SH2MAM

FINISH SCHEDULE		-	9
------------------------	--	---	----------

DOOR SCHEDULE

NO.	ROOM NAME	TYPE	DOOR			FRAME		FIRE RATING	HDWR GROUP	REMARKS	
			WIDTH	HEIGHT	THICKNESS	MATERIAL	FINISH				
1ST FLOOR											
A101	ENTRY	A	3'-0"-PAIR	8'-0"	1-3/4"	CLEAR GLASS	CLEAR	ALUMNUM	CLEAR ANODIZED	1	PANIC DEVICE / TEMPERED GLASS
A102	ENTRY	A	3'-0"-PAIR	8'-0"	1-3/4"	CLEAR GLASS	CLEAR	ALUMNUM	CLEAR ANODIZED	1	PANIC DEVICE / TEMPERED GLASS

GENERAL DOOR NOTES

- VERIFY THAT ALL DOORS AND DOOR HARDWARE MEET THE REQUIREMENTS OF THE CALIFORNIA ADMINISTRATIVE CODE (TITLE 24) ALL GOVERNING CODES & STANDARDS. NOTIFY THE ARCHITECT IMMEDIATELY IN CASE OF DISCREPANCY.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED THE FOLLOWING PER THE REQUIREMENTS OF CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, SECTION 2-3304(M)2:
 - INTERIOR DOORS - 5 POUNDS
 - EXTERIOR DOORS - 5 POUNDS
 - FIRE DOORS - 15 POUNDS
- THE SWEEP OF A DOOR CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH AS MEASURED FROM THE LEADING EDGE OF THE DOOR.
- RATED DOORS SHALL COMPLY WITH UBC SECTION 713.
- ALL HARDWARE TO BE LEVER-TYPE PER STATE OF CALIFORNIA, TITLE 24, AND THE ADA.
- SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.
- THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC AND SLIDING DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.
- MAXIMUM UNDERCUT OF ALL DOORS NOT IN A RATED CORRIDOR SHALL NOT EXCEED 1/2" ABOVE FINISH FLOOR SURFACE.
- PROVIDE WEATHER SEALS ON ALL EXTERIOR DOORS PER ANSI STANDARDS.
- ALL GLAZING WITHIN A 24" ARC OF EITHER EDGE OF A DOOR AND WITHIN 60" OF THE FLOOR SHALL BE TEMPERED.
- CONTRACTOR SHALL REFINISH ANY BLEMISHED DOOR OR REPLACE SAID DOOR IF NOT ABLE TO REFINISH TO "AS NEW" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE & VERIFY ALL DOOR FRAME THROAT THICKNESS FOR EACH LOCATION.
- ALL INTERIOR DOOR FRAMES TO BE FACTORY FINISHED.
- EXTERIOR LEVEL LANDING MAY SLOPE UP TO 1/4" PER FOOT IN ANY DIRECTION FOR SURFACE DRAINAGE.
- ALL DOOR STOPS TO HAVE 2x6 BACKING IN WALL BEHIND.
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT (CBC 1004.3).
- MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED ON EXIT DOORS (CBC 1004.3).
- PROVIDE CLEAR SPACE AT EACH SIDE OF DOOR, (ADA C-5.2.10).
- HAND ACTIVATED HARDWARE SHALL BE CENTERED NOT LESS THAN 30" NOR MORE THAN 44" ABOVE THE FINISHED FLOOR (CBC 1004.4).
- ALL DOORS IN PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER HARDWARE, PANIC BARS OR OTHER TYPE NOT REQUIRING A GRASP TO OPEN (A.D.A C-5.2.7).
- ALL EXIT DOORS SHALL OPEN IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING ANY HAZARDOUS AREA OR WHEN SERVING AN OCCUPANT LOAD OF 50 OR MORE (CBC 1004.2).
- THE FLOOR OR LANDING ON EACH SIDE OF A DOOR SHALL BE LEVEL AND NO MORE THAN 1/2" LOWER THAN THE THRESHOLD OF A DOORWAY CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH 1:2 MAX. SLOPE (CBC 1004.9 AND 1004.9.1A).
- FIELD MEASURE ALL OPENINGS PRIOR TO FABRICATION.
- PROVIDE A DURABLE SIGN OVER ALL EXIT DOORS STATING THAT THIS DOOR TO REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED.

HARDWARE SCHEDULE

TYPE	QTY.	DESCRIPTION	CATALOG NO.	FINISH	MFR.
①		Doors: A101 & A102			
2 EA		Continuous Hinge	661 x EPT Prep	AL	ST
2 EA		Exit Device	ELR 2503 CD	630	FR
2 EA		Monise Cylinder	1E-74 PATD	626	BE
2 EA		Rim Cylinder	12E-72 PATD	626	BE
2 EA		Vertical Pull	1161 x Length as req'd x BTB	630	TR
2 EA		Door Closer	CLD-4551 T.J x Drop Plate	689	SD
2 EA		Base Stop	1475	626	DJ
1 EA		Weatherstrip	by alum. storefront mfg.		
1 EA		Bumper Seal Threshold	9505		

DOOR SCHEDULE & NOTES - 3

GLAZING GENERAL NOTES

- GLASS AND GLAZING SHALL COMPLY WITH THE REQUIREMENTS OF CBC CHAPTER 24.
- GLASS AND GLAZING SUBJECT TO HUMAN IMPACT SHALL CONFORM WITH CBC SECTION 2406 AND TABLES 24-C AND 24-D.
- EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF THE GLASS (CBC SEC. 2402).
- GLASS IN WINDOW WALLS, SKYLIGHTS, DOORS AND OTHER EXTERIOR APPLICATIONS SHALL BE CHOSEN TO WITHSTAND THE LOADS FOR CLADDING AS SET FORTH IN CBC CHAPTER 16, PART II (CBC SEC. 2403) DESIGN TO RESIST A WIND LOAD OF 20 PSF. STOREFRONT MANUFACTURER TO DESIGN AND DETAIL CONNECTION TO STRUCTURAL MEMBERS AND SUBMIT TO STRUCTURAL ENGINEER AND BUILDING DEPARTMENT FOR APPROVAL.
- THE AREA OF AN INDIVIDUAL LIGHT SHALL NOT EXCEED THE LIMITS AS SET FORTH IN GRAPH 24-1 (CBC SEC. 2403).
- GLASS SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES (CBC SEC. 2401.1)
- THE FRAMING MEMBERS FOR EACH INDIVIDUAL GLASS PANE SHALL BE DESIGNED SO THE DEFLECTION PERPENDICULAR TO THE GLASS PLANE SHALL NOT EXCEED 1/175 OF THE GLASS EDGE LENGTH OR 3/4, WHICHEVER IS LESS, WHEN SUBJECTED TO THE LARGER OF THE POSITIVE OR NEGATIVE LOAD WHEN THE LOADS ARE COMBINED AS SPECIFIED IN SECTION A603.6 (CBC SEC. 2404.2)
- FIELD MEASURE ALL OPENINGS PRIOR TO FABRICATION.
- A CERTIFICATE OF COMPLIANCE WILL BE PROVIDED FOR ALL EXTERIOR WINDOWS
- ALL GLAZING DENOTED WITH 'T' SYMBOL TO BE 1/4" TEMPERED CLR/TINTED GLASS PANEL AS REQ. PER CBC2406.2 & 2406.3. A PERMANENT LABEL PER SECTION 2406.2 SHALL IDENTIFY EACH LIGHT OR SAFETY GLAZING
- PROVIDE SAFETY GLAZING IN THE LOCATIONS PER CBC2403.1. EACH PANE TO BE ETCH-MARKED

WINDOW SCHEDULE & NOTES - 1

IRA REALTY CAPITAL
 1900 Main Street, Suite 375
 Irvine, California 92614

PROJECT NAME
**SHOPS at
 MAIN STREET -
 Exterior Building
 Improvements**
 511-581 North Main Street
 Corona, California 92880

ENGINEER/ARCHITECT

IDS GROUP
 1 PETERS CANYON ROAD, SUITE 130
 IRVINE, CA. 92606
 TEL: 949-387-8500, FAX: 949-387-0800

STAMP

REV.	DESCRIPTION	DATE
	PLAN CHECK SUBMITTAL	07.25.16

REV.	DESCRIPTION	DATE

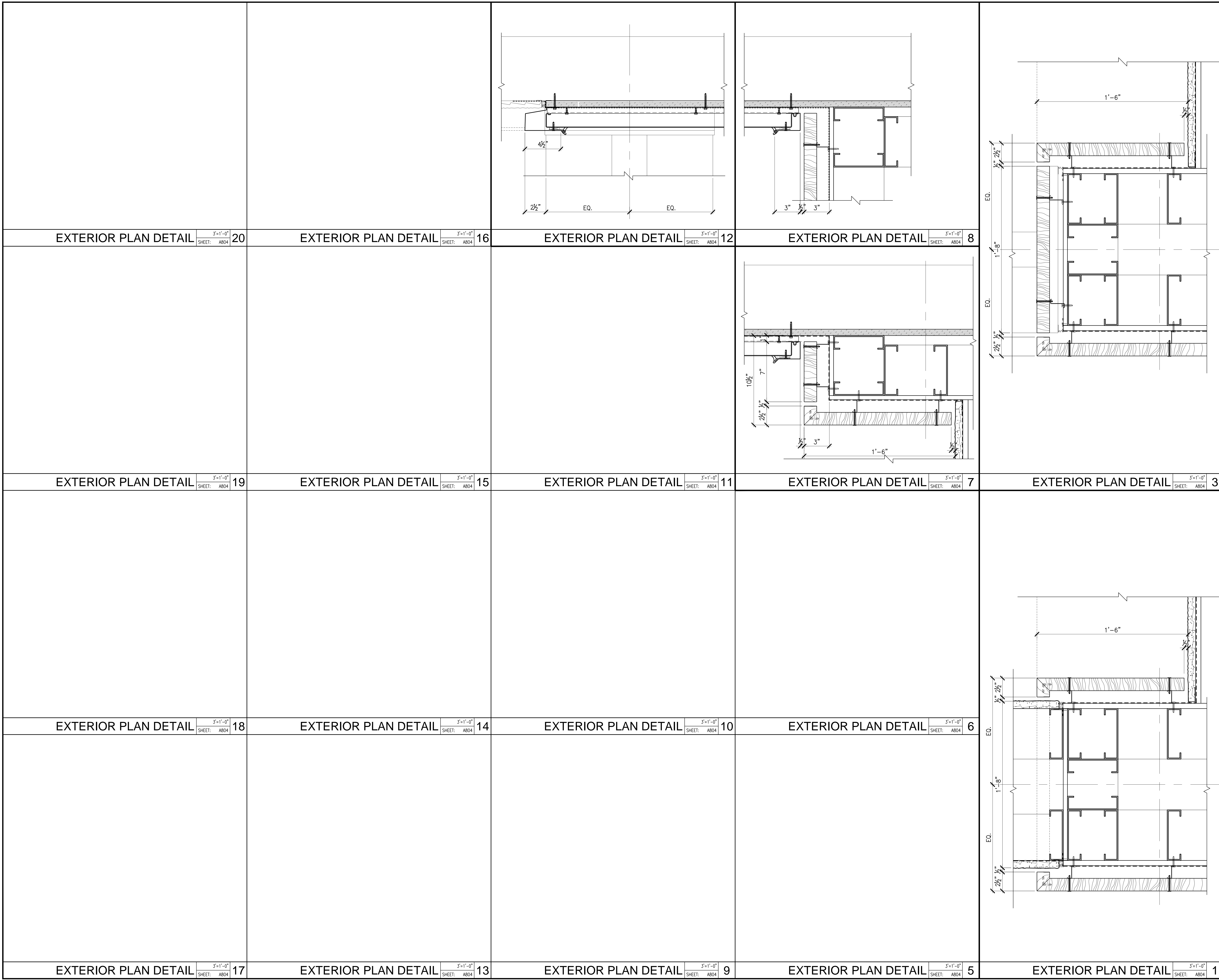
PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	GD/MC
CHECKED BY	JS

SHEET TITLE
**BLDG. A
 DOOR / WINDOW
 & FINISH SCHEDULE**


SHEET NUMBER
AA6.01

INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

PROJECT



CLIENT




IRA REALTY CAPITAL
1900 Main Street, Suite 375
Irvine, California 92614

PROJECT NAME

**SHOPS at
MAIN STREET -
Exterior Building
Improvements**


511-581 North Main Street
Corona, California 92880

ENGINEER/ARCHITECT



IDS GROUP
1 PETERS CANYON ROAD, SUITE 130
IRVINE, CA 92606
TEL: 949-387-8500, FAX: 949-387-0800

STAMP



REV.	DESCRIPTION	DATE
	PLAN CHECK SUBMITTAL	07.25.16

PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	RW
CHECKED BY	JS

PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	RW
CHECKED BY	JS

SHEET TITLE

**BLDG A
EXTERIOR
DETAILS**

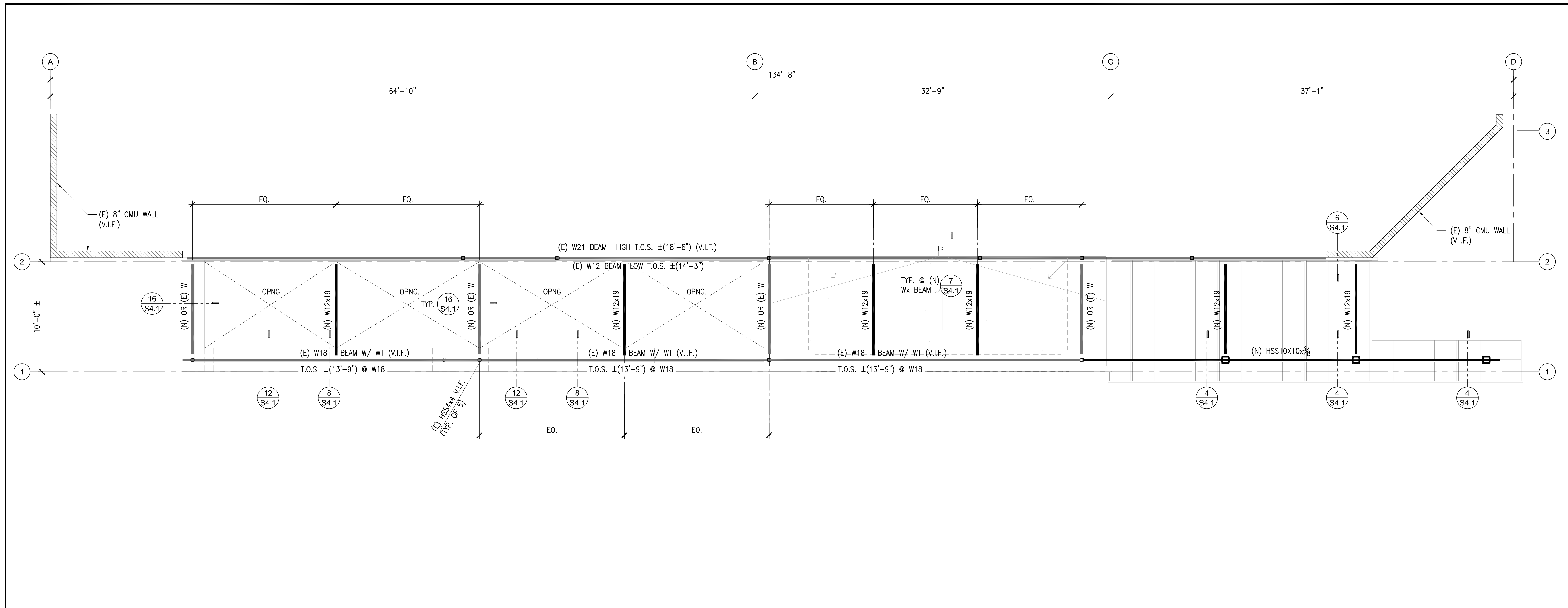
SHEET NUMBER

AA8.02

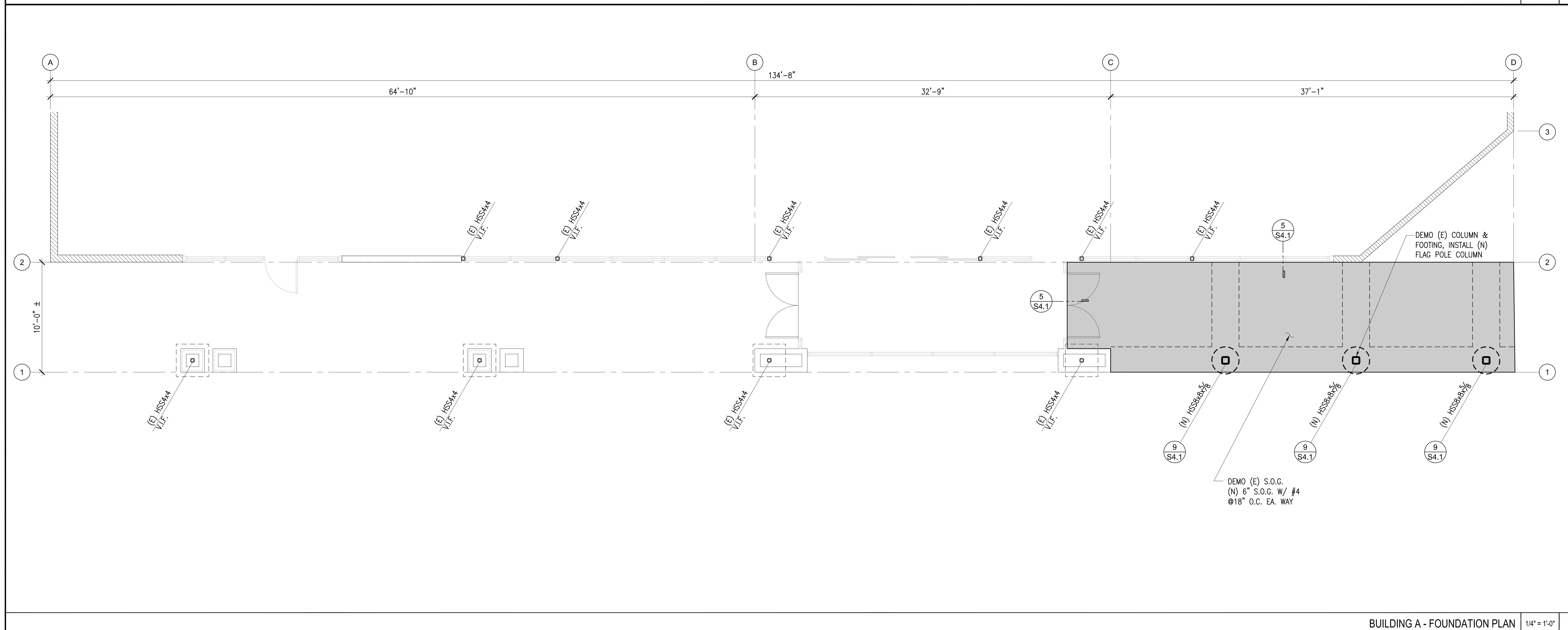
SHEET NO. OF XXX

INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

PROJECT



BUILDING A - LOW ROOF FRAMING PLAN 1/4" = 1'-0" 2



BUILDING A - FOUNDATION PLAN 1/4" = 1'-0" 1



IRA REALTY CAPITAL
1900 Main Street, Suite 375
Irvine, California 92614

PROJECT NAME

SHOPS at
MAIN STREET -
Exterior Building
Improvements

511-581 North Main Street
Corona, California 92880

ENGINEER/ARCHITECT



1 PETERS CANYON ROAD, SUITE 130
IRVINE, CA 92606
TEL: 949-387-8500, FAX: 949-387-0800

STAMP



DATE SIGNED: 07-25-2016

ISSUE

REV.	DESCRIPTION	DATE
1	PLAN CHECK SUBMITTAL	07.25.16

KEY PLAN



PROJECT NO. 15X047.00

PRINT DATE 7/26/2016

DRAWN BY CN

CHECKED BY JR, YC

SHEET TITLE

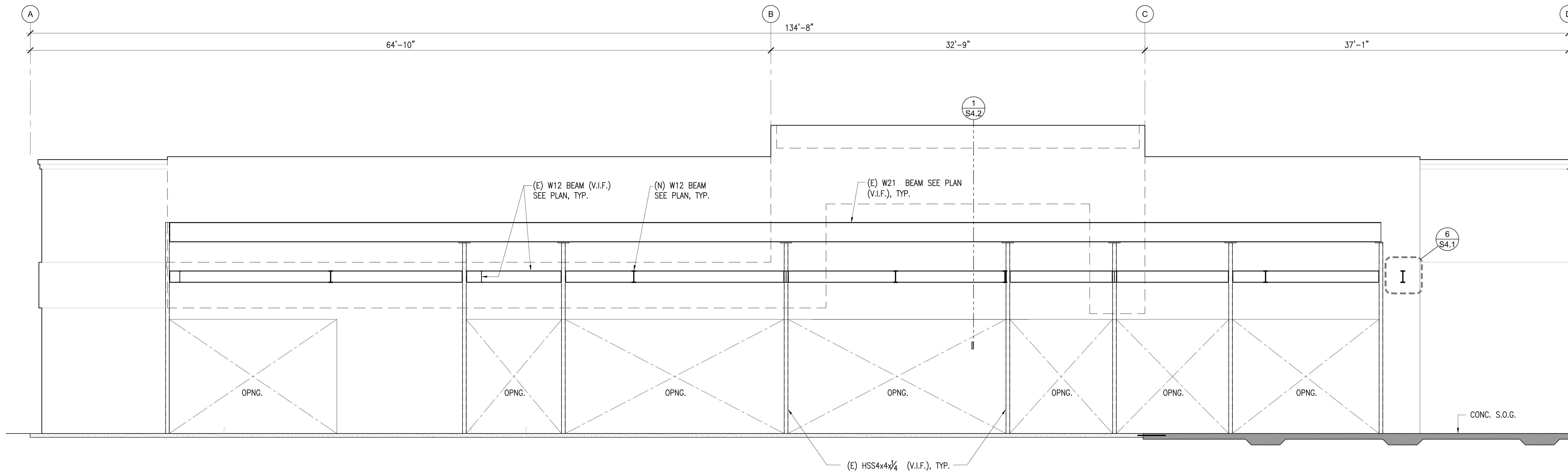
BLDG A
FOUNDATION PLAN AND
LOW FRAMING PLAN

SHEET NUMBER

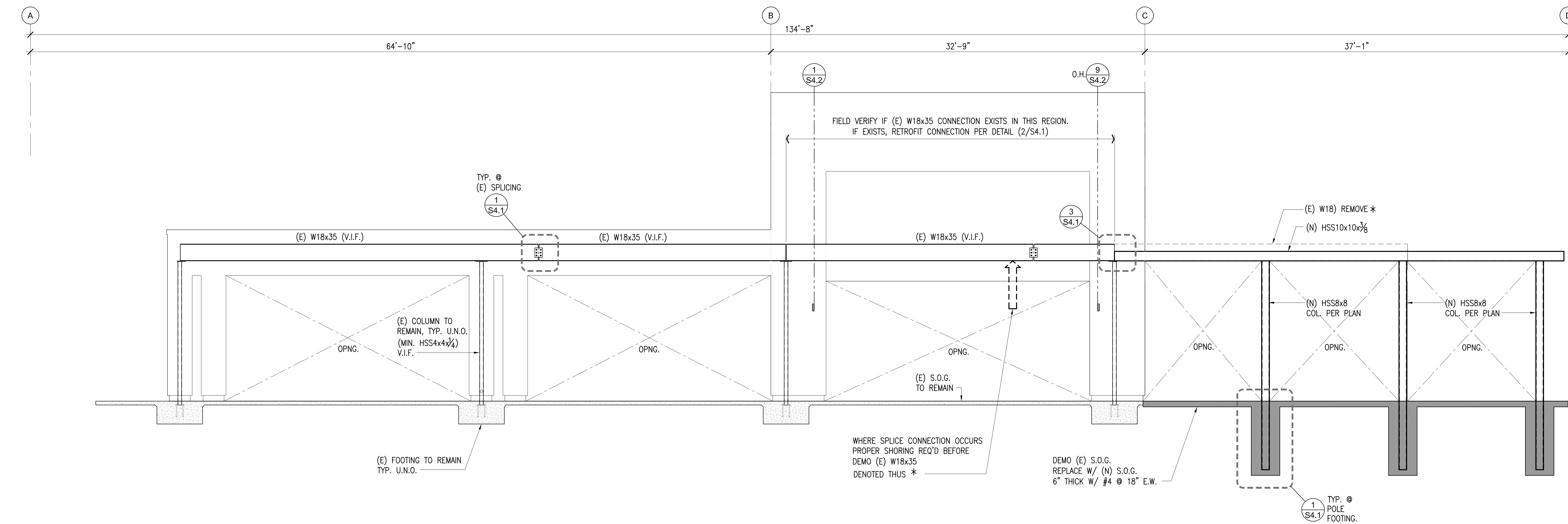
S2.0

INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

PROJECT



BUILDING A - FRAMING ELEVATION AT GRID 2 1/4" = 1'-0" 2



BUILDING A - FRAMING ELEVATION AT GRID 1 1/4" = 1'-0" 1

CLIENT

IRA REALTY CAPITAL
1900 Main Street, Suite 375
Irvine, California 92614

PROJECT NAME

SHOPS at MAIN STREET - Exterior Building Improvements

511-581 North Main Street
Corona, California 92880

ENGINEER/ARCHITECT

IDS GROUP
1 PETERS CANYON ROAD, SUITE 130
IRVINE, CA 92606
TEL: 949-387-8500, FAX: 949-387-0800

STAMP

DATE SIGNED: 07-25-2016

ISSUE

REV.	DESCRIPTION	DATE
1	PLAN CHECK SUBMITTAL	07.25.16

KEY PLAN

PROJECT NO.	15X047.00
PRINT DATE	7/26/2016
DRAWN BY	CN
CHECKED BY	JR, YC

SHEET TITLE

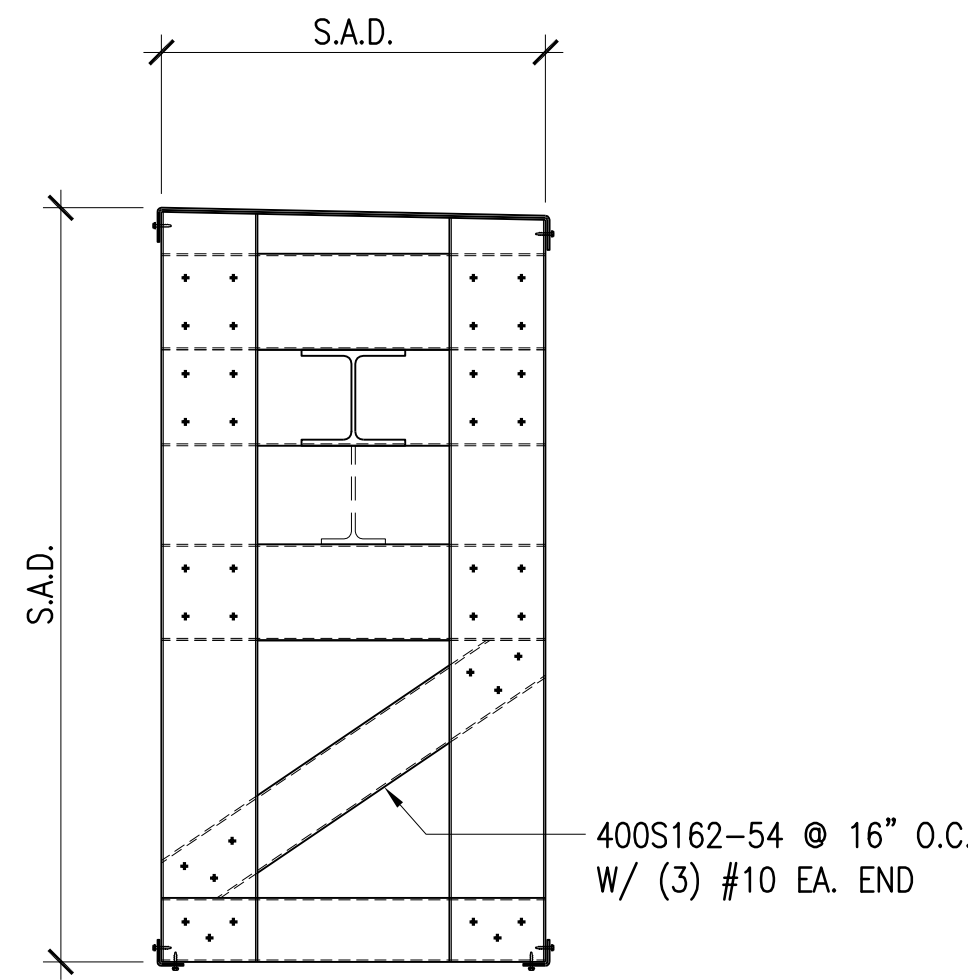
BUILDING A FRAMING ELEVATIONS

SHEET NUMBER

S3.0

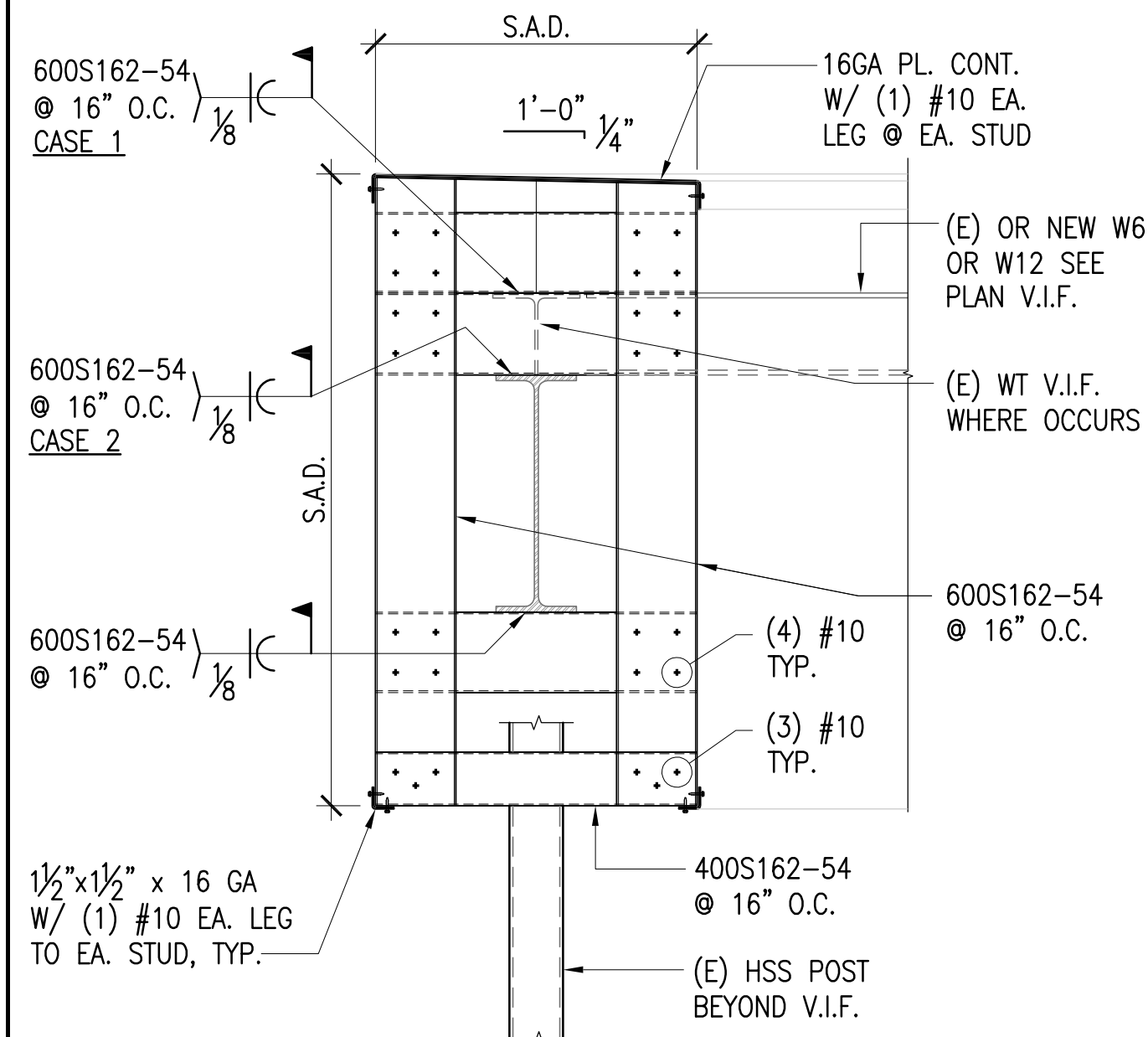
INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

PROJECT

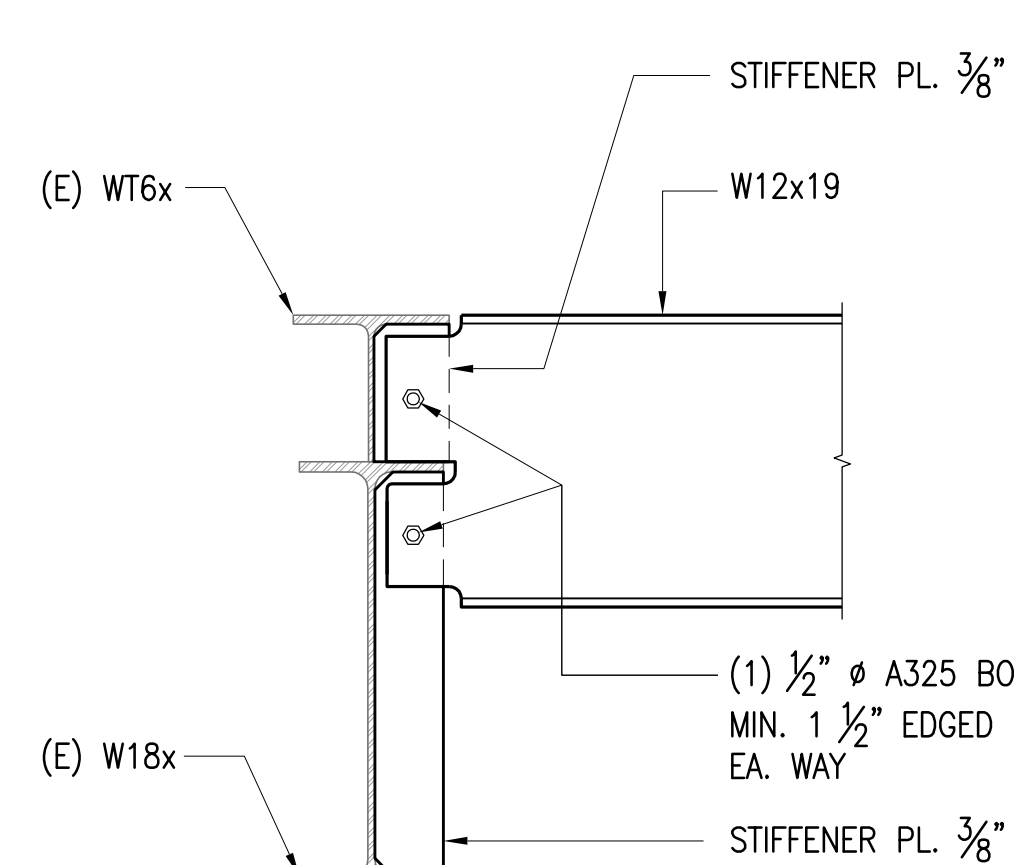


NOTE:
FOR INFO. NOT SHOWN SEE DETAIL -/-

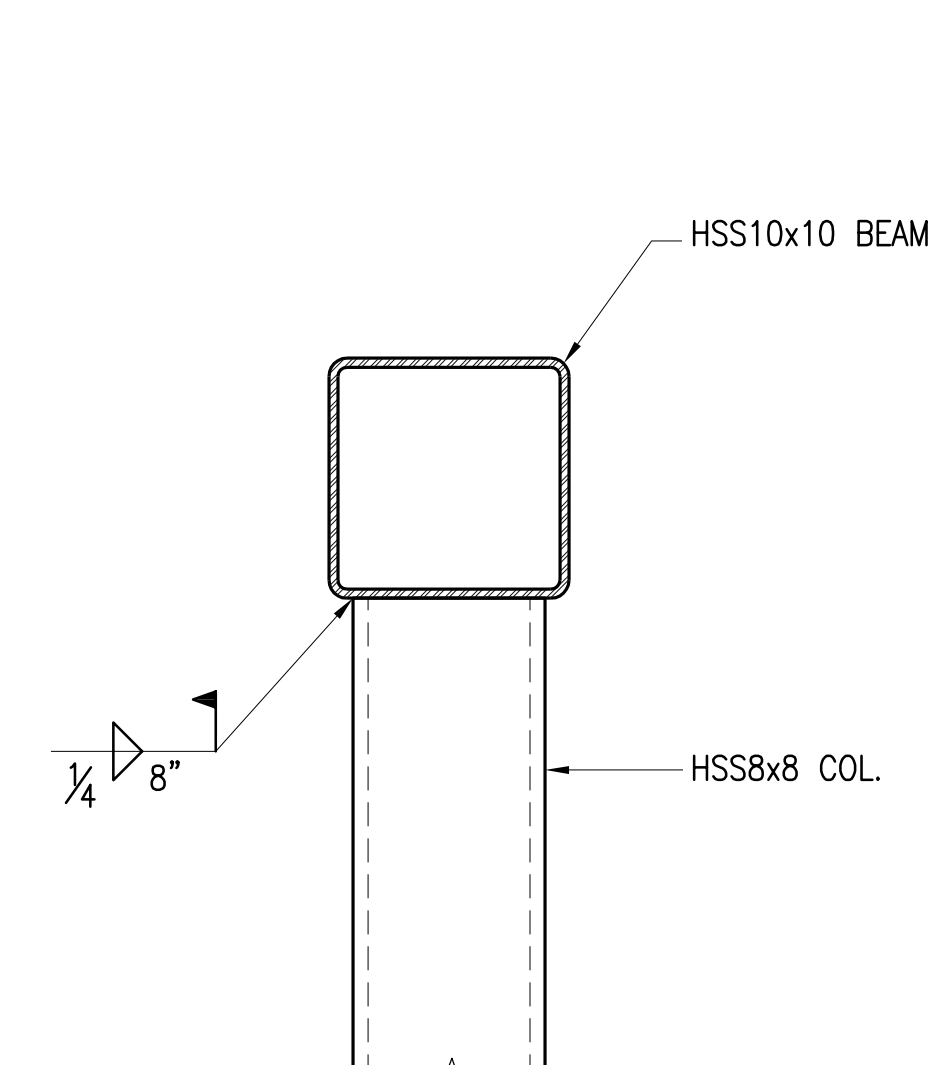
TITLE SC: N.T.S. S4.1 16



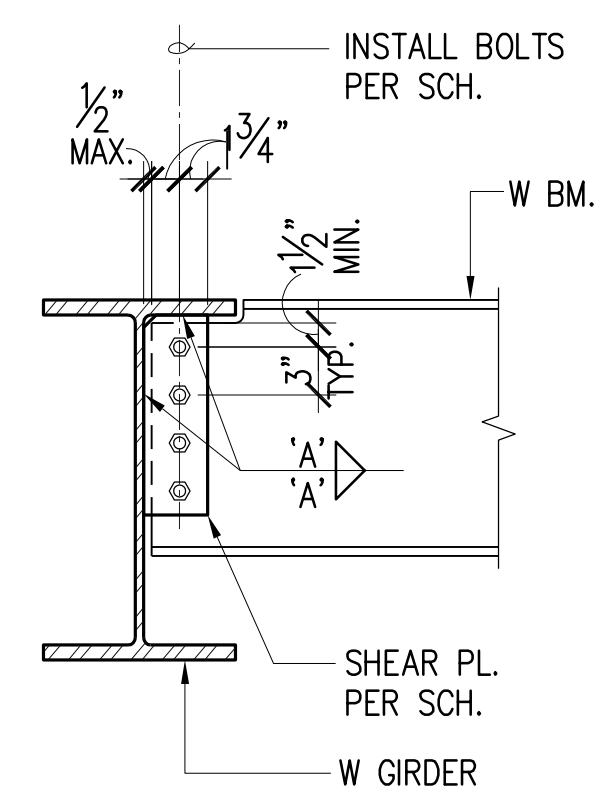
TITLE SC: N.T.S. S4.1 12



TITLE SC: N.T.S. S4.1 8

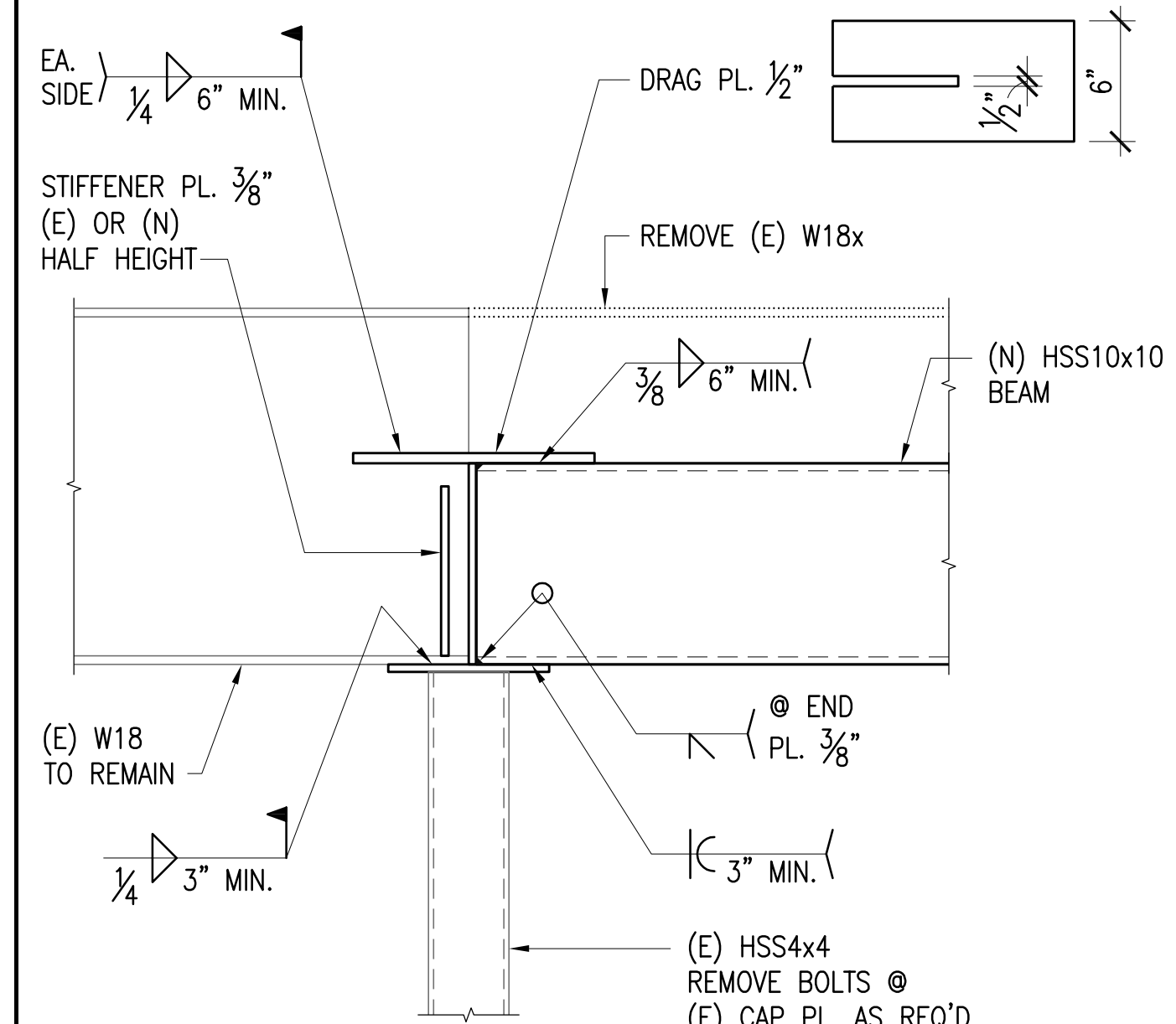


TITLE SC: N.T.S. S4.1 4



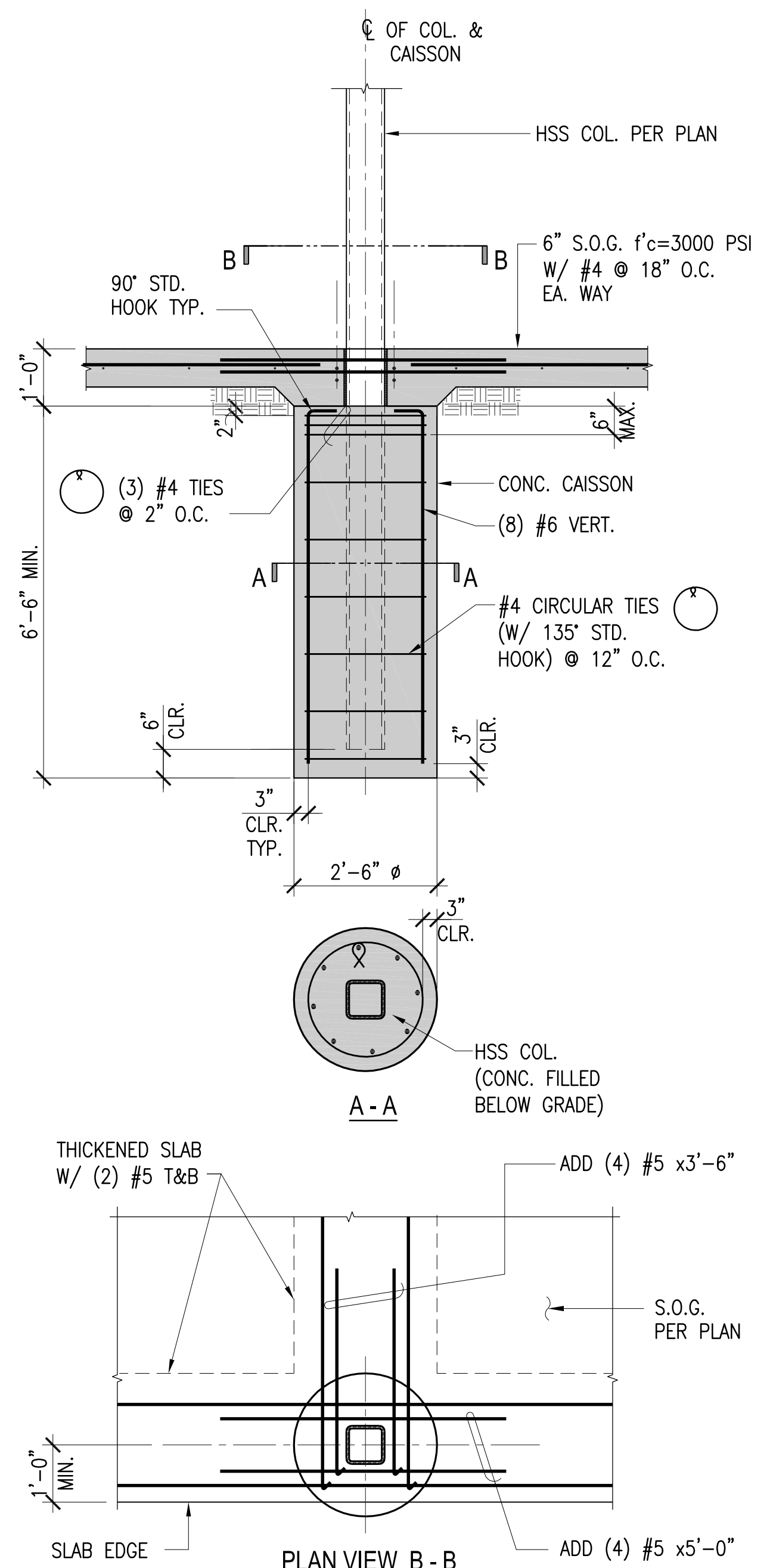
STANDARD BOLTED CONNECTION SCHEDULE			
BEAM SIZE	NO. & SIZE OF BOLTS REQUIRED	SHEAR PLATE THICKNESS	WELD SIZE 'A'
W12, C12x	3-7/8"	3/8"	5/16"

- CONNECTION NOTES:
- ALL BOLTS TO BE ASTM A325N ST BOLTS U.N.O.
 - CONNECTION PLATES TO HAVE AISC STANDARD ROUND HOLES U.N.O.
 - ALL CONNECTION PLATE MATERIAL TO BE A36 U.N.O.
 - NO SHIMS OR FILLERS > 1/4" SHALL BE USED AT BOLTED CONNECTIONS WITHOUT PRIOR REVIEW AND APPROVAL FROM S.E.O.R AND DSA.

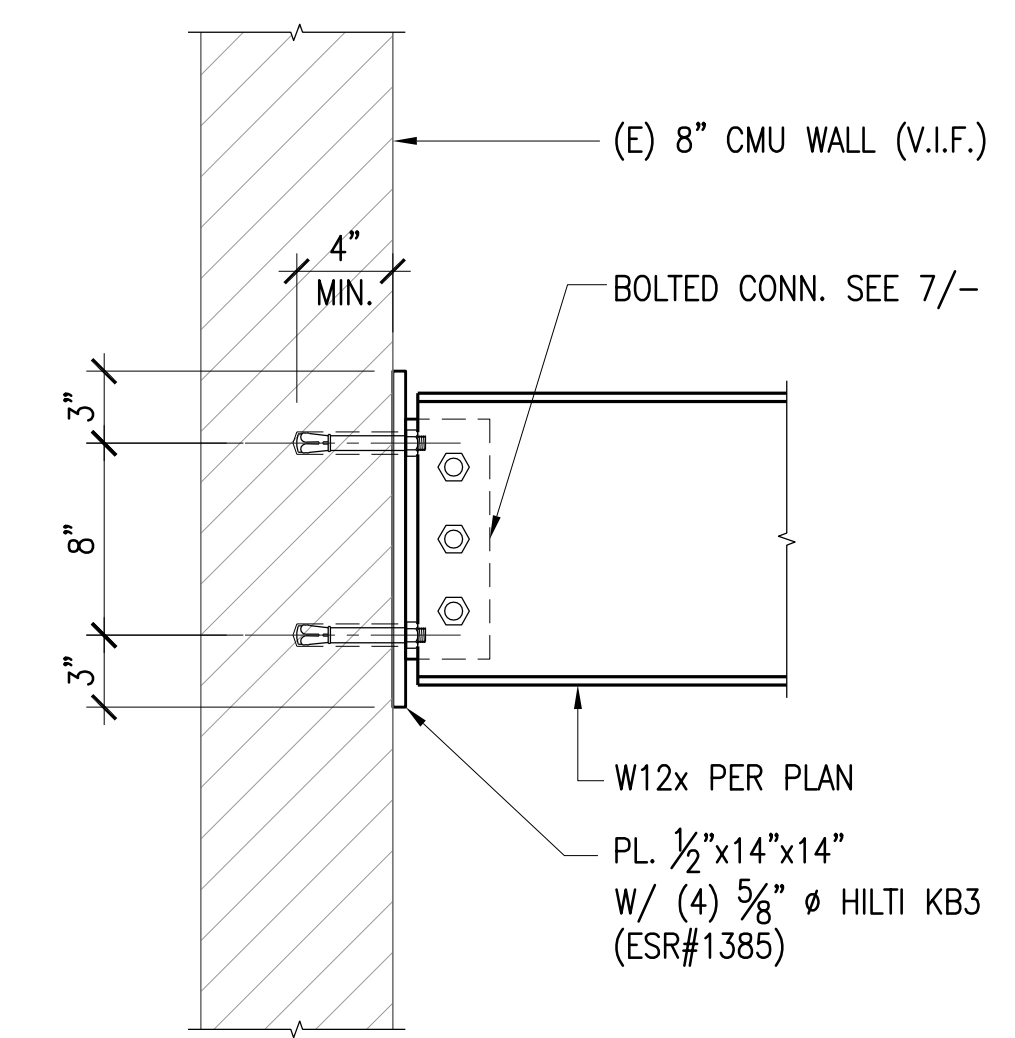


TITLE SC: N.T.S. S4.1 3

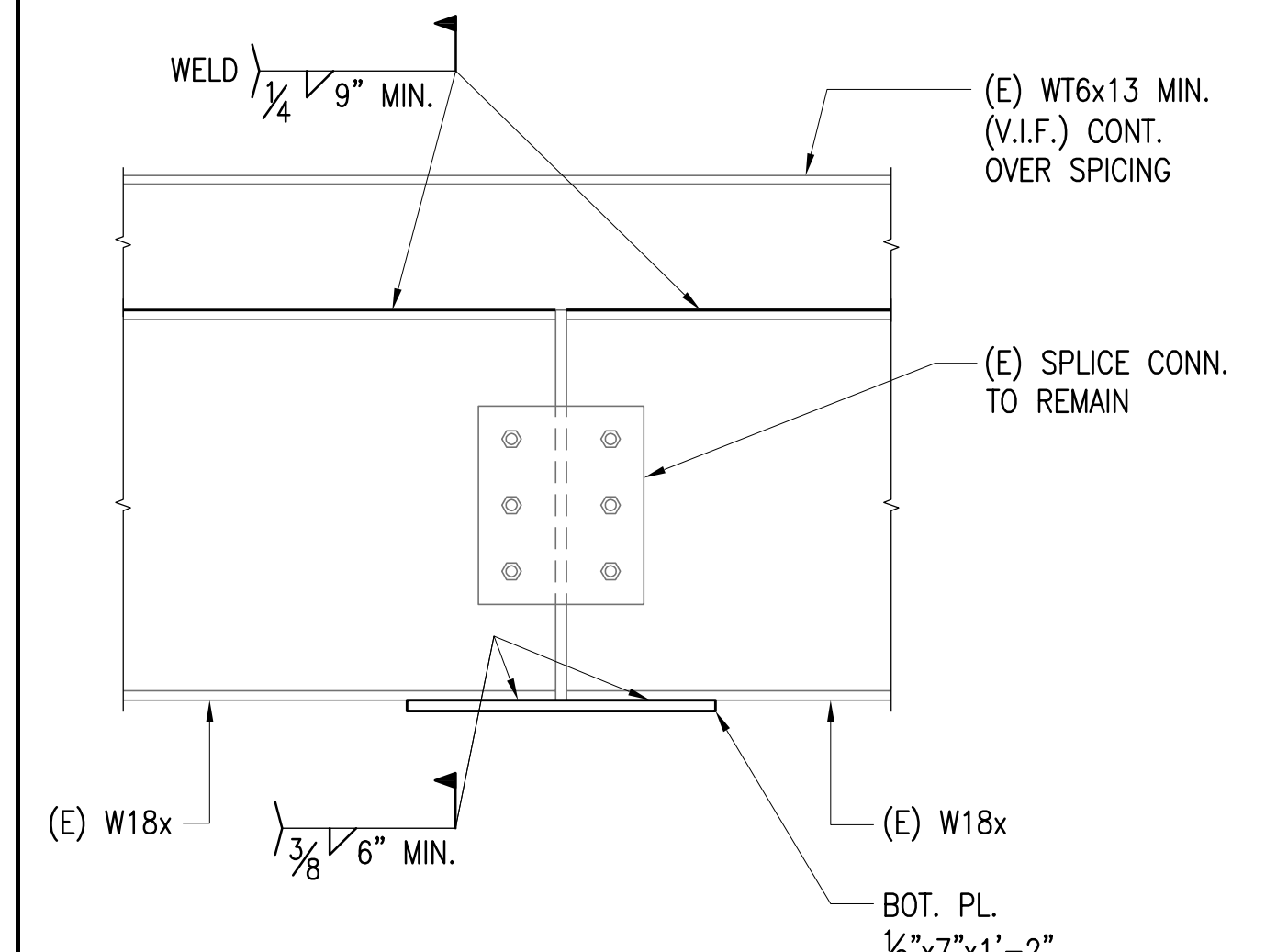
TYP. BOLTED W/ W BEAM CONN. SC: N.T.S. S4.1 7



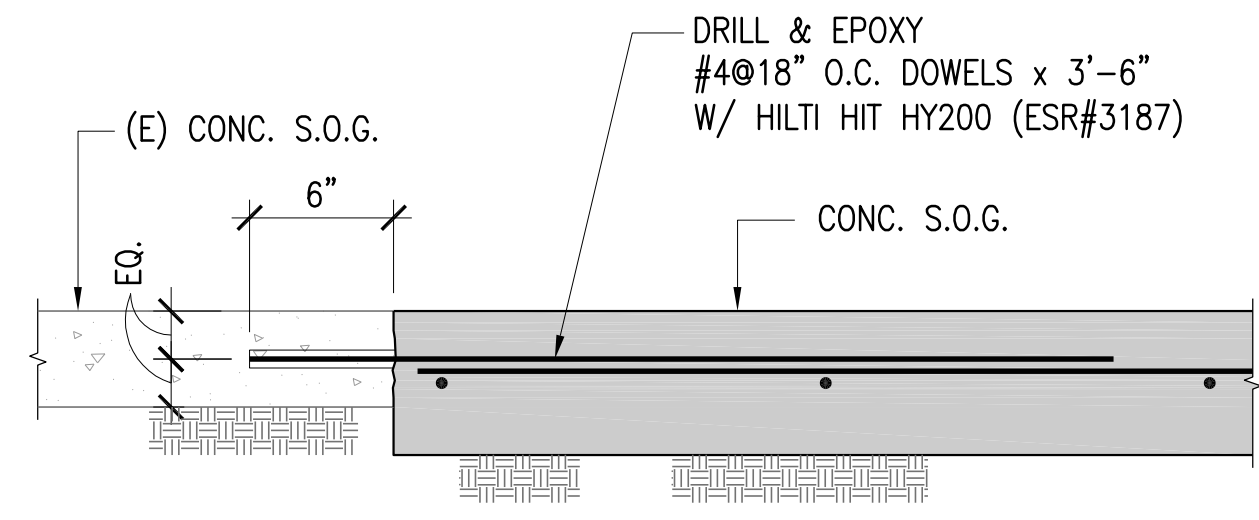
TITLE SC: N.T.S. S4.1 9



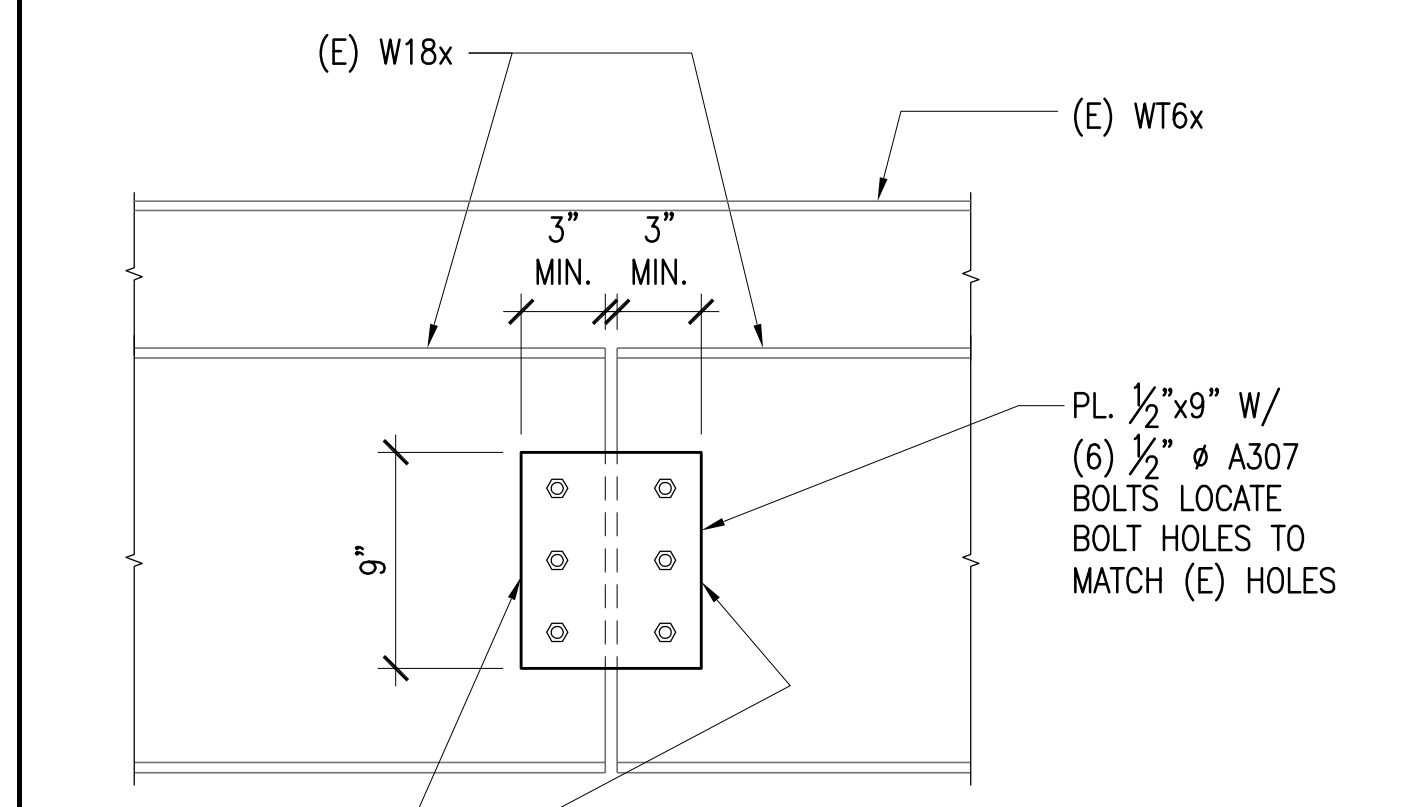
TITLE SC: N.T.S. S4.1 6



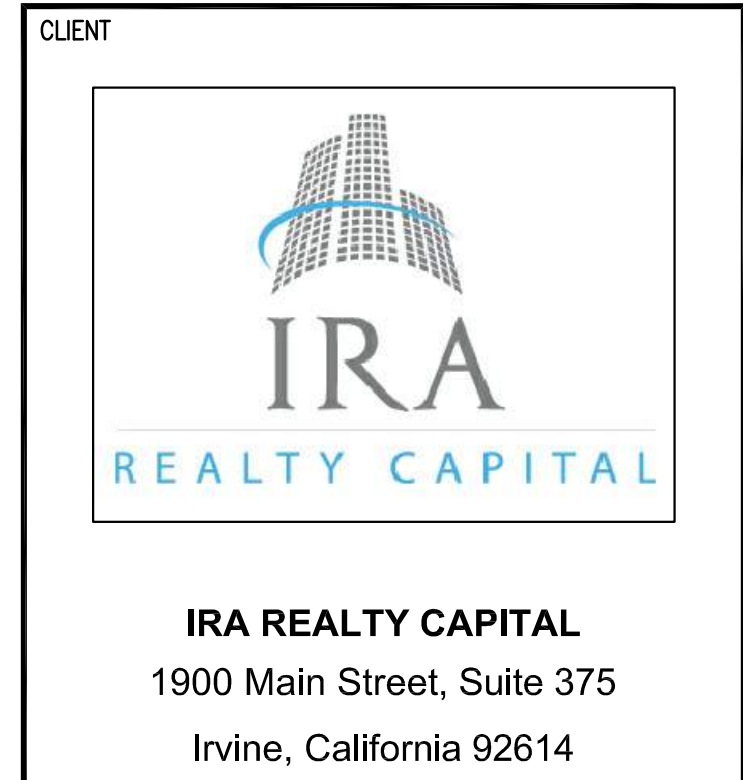
TITLE SC: N.T.S. S4.1 2



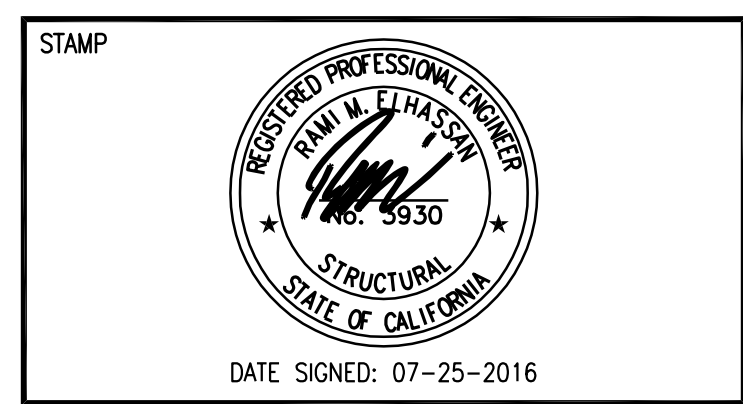
TITLE SC: N.T.S. S4.1 5



TITLE SC: N.T.S. S4.1 1



PROJECT NAME
SHOPS at MAIN STREET - Exterior Building Improvements
511-581 North Main Street
Corona, California 92880



REV.	DESCRIPTION	DATE
1	PLAN CHECK SUBMITTAL	07.25.16

BENCHMARK
BASIS OF BEARINGS

PROJECT NO. 15X047.00
PRINT DATE 7/26/2016
DRAWN BY CN
CHECKED BY JR, YC

SHEET TITLE
DETAILS AND SECTIONS

SHEET NUMBER
S4.1
SHEET NO. OF

INITIAL PLAN CHECK SUBMITTAL SET - 07/25/16

